



8/26/24

Hamilton County Planning and Development Department

138 E. Court St. Cincinnati, OH 45202

Letter of Request for Placement on the 9/18/24 Symmes Township Zoning Commission Agenda

To whom it may concern,

The Ackermann Group is wrapping up the office to apartment conversion at 8600 Governors Hill Dr. in a few months, now called the Altura Apartments. As such, we are seeking zoning approval on slight changes to the landscape, lighting and ADA parking designs. We have kept within the conditions of previous zoning approvals on 10/19/22 and 7/19/23 and are confident these changes do not constitute a change in character of the development or a negative impact to the people of Symmes Township.

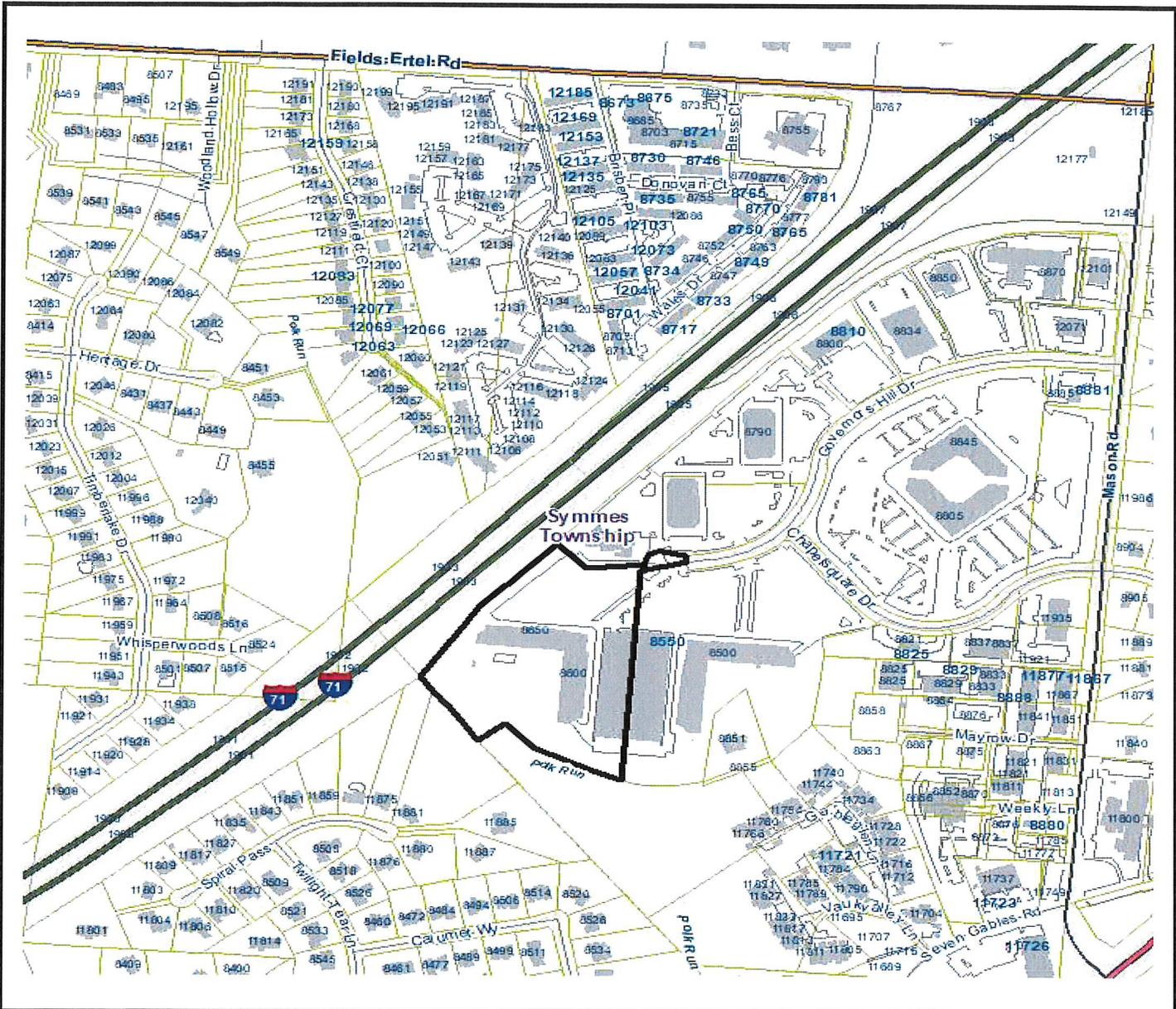
We request placement on the 9/18/24 agenda of the Symmes Township Zoning Commission. We look forward to working with all stakeholders to bring this project to completion and hosting the Symmes Township community at the Altura Apartments.

Sincerely,

Brian Henning  
Development Manager  
Ackermann Group

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AUG 27 2024



# Vicinity Map

**Case: Symmes 3-79; 8600 & 8650 Governors Hill Drive  
Request: Final Development Plan**

**DISCLAIMER:**

Neither the provider nor any of the parties of the Cincinnati area geographic information system (CAGIS) make any warranty or representation, either expressed or implied, with respect to this information, its quality, performance, merchantability, or fitness for a particular purpose. As a result this information is provided as is, and you, the recipient, are assuming the entire risk as to its quality and performance.

In no event, will the provider or any party of CAGIS be liable for direct, indirect, incidental, or consequential damages resulting from any defect in the information or any other part of the map product, even if advised of the possibility of such damages. In particular, neither the provider nor any party of CAGIS shall have any liability for any other information, programs or data used with or combined with the information received, including the cost of recovering such information, programs or data.

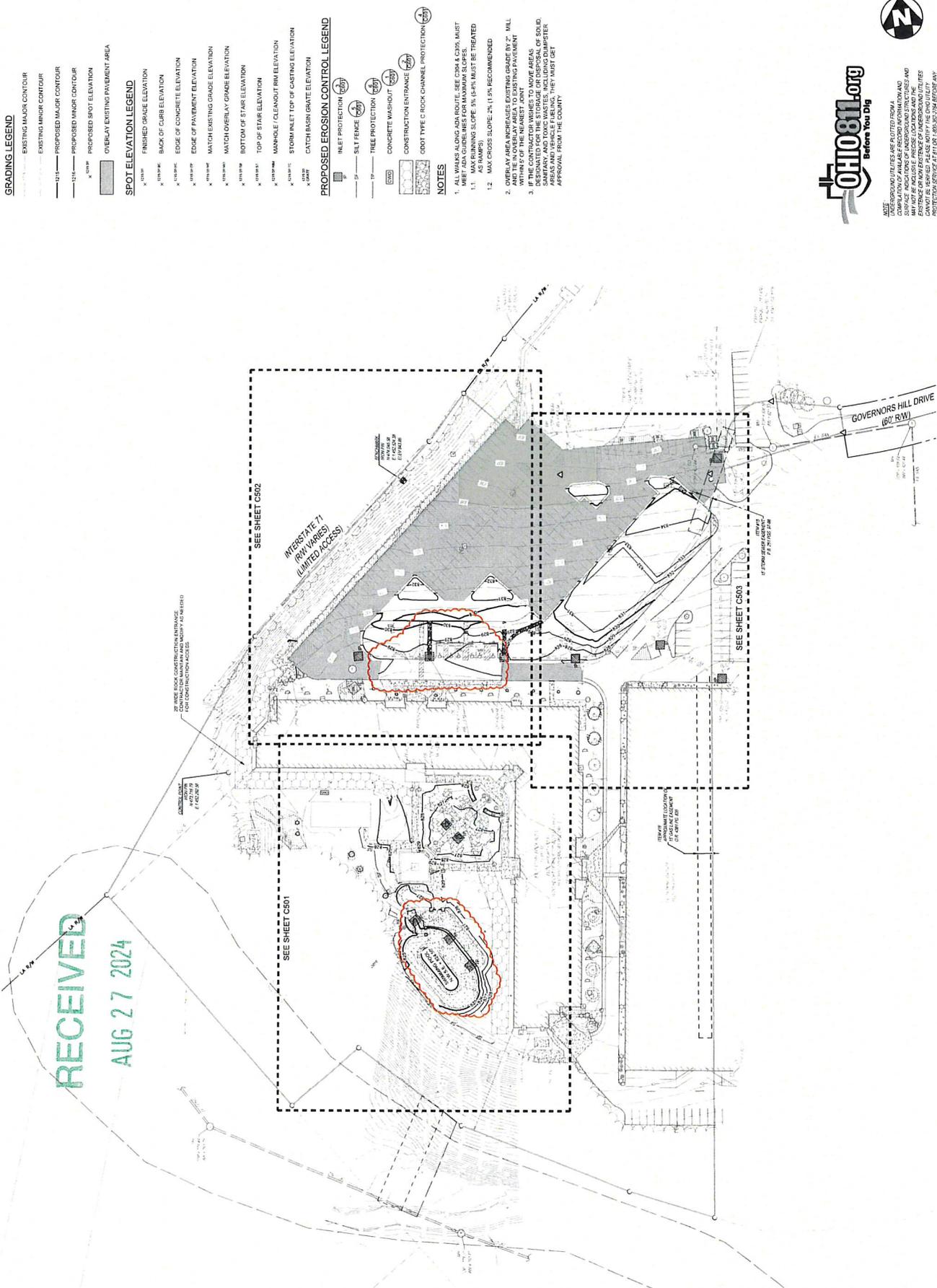
Any floodway and flood fringe information provided on this map is for conceptual planning purposes only. For official determination of limits recipient must refer to the 2004 FEMA floodway fringe maps. Large differences can exist between actual flood prone area and official FEMA flood fringe areas.

**HAMILTON COUNTY RURAL ZONING COMMISSION**  
138 E COURT ST RM 801  
CINCINNATI, OH, 45202-020  
(513) 946-4500

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Created: 08-27-2024

RECEIVED  
AUG 27 2024



- GRADING LEGEND**
- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SPOT ELEVATION
  - OVERLAY EXISTING PAVEMENT AREA
- SPOT ELEVATION LEGEND**
- FINISHED GRADE ELEVATION
  - BACK OF CURB ELEVATION
  - EDGE OF CONCRETE ELEVATION
  - EDGE OF PAVEMENT ELEVATION
  - MATCH EXISTING GRADE ELEVATION
  - MATCH OVERLAY GRADE ELEVATION
  - BOTTOM OF STAIR ELEVATION
  - TOP OF STAIR ELEVATION
  - MANHOLE / CLEANOUT RIM ELEVATION
  - STORM INLET TOP OF CASTING ELEVATION
  - CATCH BASIN GRATE ELEVATION

- PROPOSED EROSION CONTROL LEGEND**
- INLET PROTECTION
  - SILT FENCE
  - TREE PROTECTION
  - CONCRETE WASHOUT
  - CONSTRUCTION ENTRANCE
  - COOT TYPE C ROCK CHANNEL PROTECTION

- NOTES**
- ALL WORKS ALONG ADA ROUTES, SEE CDR & CDR, MUST MEET ADA GUIDELINES FOR MAXIMUM SLOPES.
    - MAX RUNNING SLOPE: 5% (5:95); MUST BE TREATED WITHIN 5' OF THE NEAREST JOINT
    - MAX CROSS SLOPE: 2% (1:50); RECOMMENDED
  - OVERLAY AREA INCREASES EXISTING GRADE BY 2". MILL AND PATCH TO MATCH EXISTING PAVEMENT WITHIN 5' OF THE NEAREST JOINT
  - IF THE CONTRACTOR WISHES TO MOVE AREAS OF SANITARY AND TOXIC WASTES, INCLUDING DIAMETER AREAS AND VEHICLE FILLINGS, THEY MUST GET APPROVAL FROM THE COUNTY.

NO. DATE DESCRIPTION  
 07/23/24 CONSTRUCTION DOCUMENTS  
 08/05/24 REVISIONS  
 09/17/24 COUNTY COMMENTS  
 09/27/24 TWEAKS & LANDSCAPE REVISIONS

**Governors Hill Apartment Final Development Plan**  
 6600 GOV. HILL DRIVE  
 CINCINNATI, OH 45248

PROJECT NO: 0796574005  
 DATE: 07.21.2023  
 SCALE: 1" = 10'-0"

SHEET NAME: OVERALL GRADING AND EROSION CONTROL PLAN  
 SHEET NO: 1 of 13

NOTE: ALL EXISTING UTILITIES ARE PLOTTED FROM A COMPACTION OF AVAILABLE RECORD INFORMATION AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES AND MAY NOT BE LIABLE FOR PRECISE LOCATIONS AND DEPTHS OF UTILITIES. CONTRACTOR SHALL VERIFY ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

**GRADING LEGEND**

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- OVERLAY EXISTING PAVEMENT AREA

**SPOT ELEVATION LEGEND**

- FINISHED GRADE ELEVATION
- BACK OF CURB ELEVATION
- EDGE OF CONCRETE ELEVATION
- EDGE OF PAVEMENT ELEVATION
- MATCH EXISTING GRADE ELEVATION
- MATCH OVERLAY GRADE ELEVATION
- BOTTOM OF STAIR ELEVATION
- TOP OF STAIR ELEVATION
- MANHOLE / CLEANOUT RIM ELEVATION
- STORM INLET TOP OF CASTING ELEVATION
- CATCH BASIN GRATE ELEVATION

**PROPOSED EROSION CONTROL LEGEND**

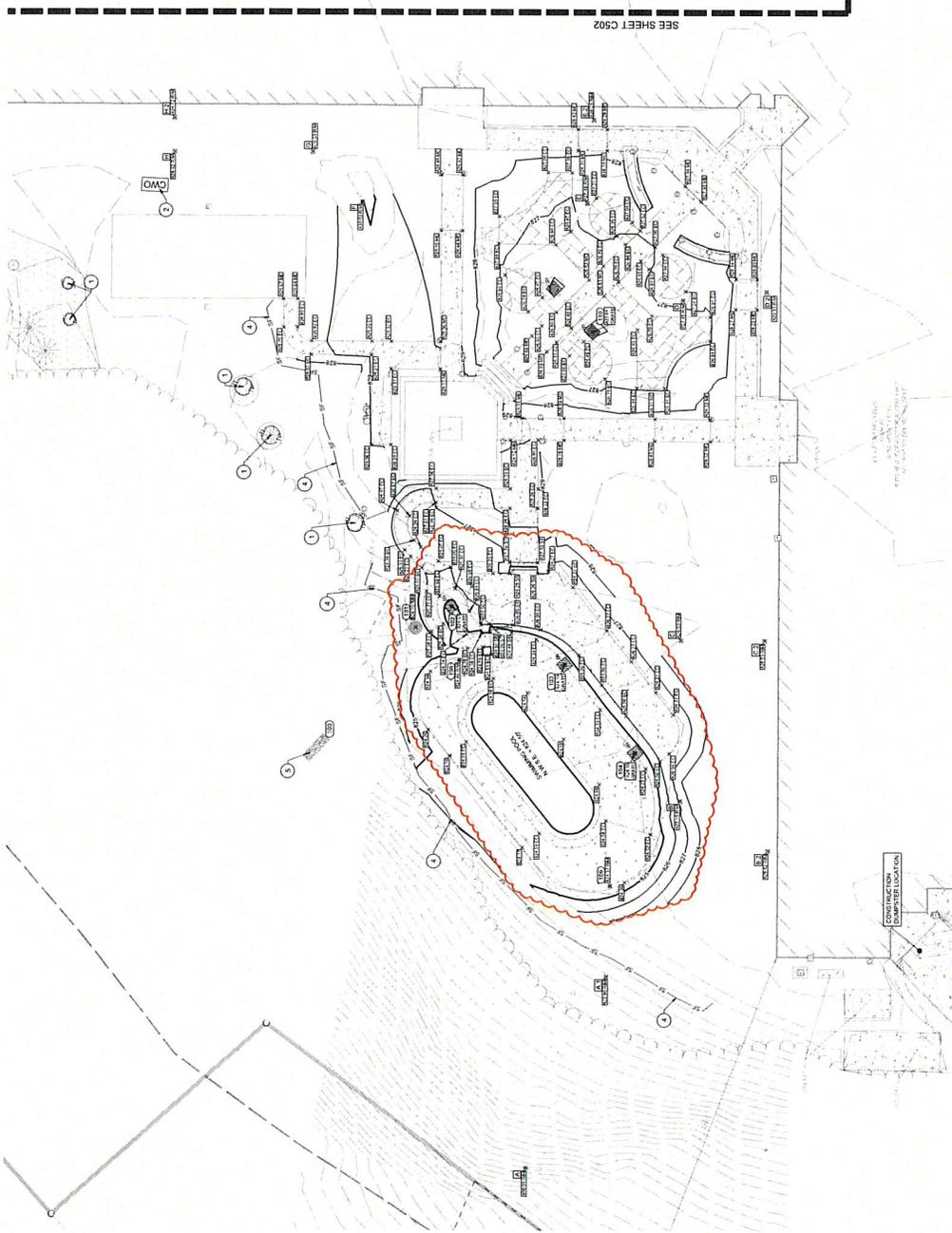
- INLET PROTECTION
- SILT FENCE
- TREE PROTECTION
- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE
- ROCK CHANNEL PROTECTION

**GRADING PLAN NOTES**

1. TREE TO BE PROTECTED
2. CONCRETE WASHOUT
3. NOT USED
4. SILT FENCE
5. ROCK CHANNEL PROTECTION
6. NOT USED
7. NOT USED
8. PERPENDICULAR ADA RAMP WITH RETURNED CURB
9. EXISTING CURB TRANSITION

**NOTES**

1. ALL WORKS ALONG ADA ROUTE, SEE CSA 4, CODE MUST MEET ADA GUIDELINES FOR MAXIMUM SLOPES.
  - 1.1. MAX RUNNING SLOPE: 5% (5.0%) MUST BE TREATED
  - 1.2. MAX CROSS SLOPE: 2% (2.0%) RECOMMENDED
2. OVERLAY AREA INCREASES EXISTING GRADE BY 2". MILL WITHIN 5' OF THE NEAREST JOINT AND PAVEMENT
3. IF THE CONTRACTOR WISHES TO MOVE AREAS OF SANITARY AND TOXIC WASTES, INCLUDING DAMPSTER AREAS AND VEHICLE FUELING, THEY MUST GET APPROVAL FROM THE COUNTY.



**Governors Hill Apartment Final Development Plan**  
 BIRD & BIRD GOVERNORS HILL DRIVE  
 CINCINNATI, OH 45224

PROJECT NO: 070807-005  
 DATE: 07.21.2023  
 SCALE: 1" = 10'-0"

SHEET NAME: SOUTH GRADING AND EROSION CONTROL PLAN  
 SHEET NO: 2 of 13



ALL UNDERGROUND UTILITIES ARE EXCLUDED FROM THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY AND LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY AND LOCAL AGENCIES.

**GRADING LEGEND**

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- OVERLAY EXISTING PAVEMENT AREA

**SPOT ELEVATION LEGEND**

- FINISHED GRADE ELEVATION
- BACK OF CURB ELEVATION
- EDGE OF CONCRETE ELEVATION
- EDGE OF PAVEMENT ELEVATION
- MATCH EXISTING GRADE ELEVATION
- MATCH OVERLAY GRADE ELEVATION
- BOTTOM OF STAIR ELEVATION
- TOP OF STAIR ELEVATION
- MANHOLE / CLEANOUT RIM ELEVATION
- STORM INLET TOP OF CASTING ELEVATION
- CATCH BASIN GRADE ELEVATION

**PROPOSED EROSION CONTROL LEGEND**

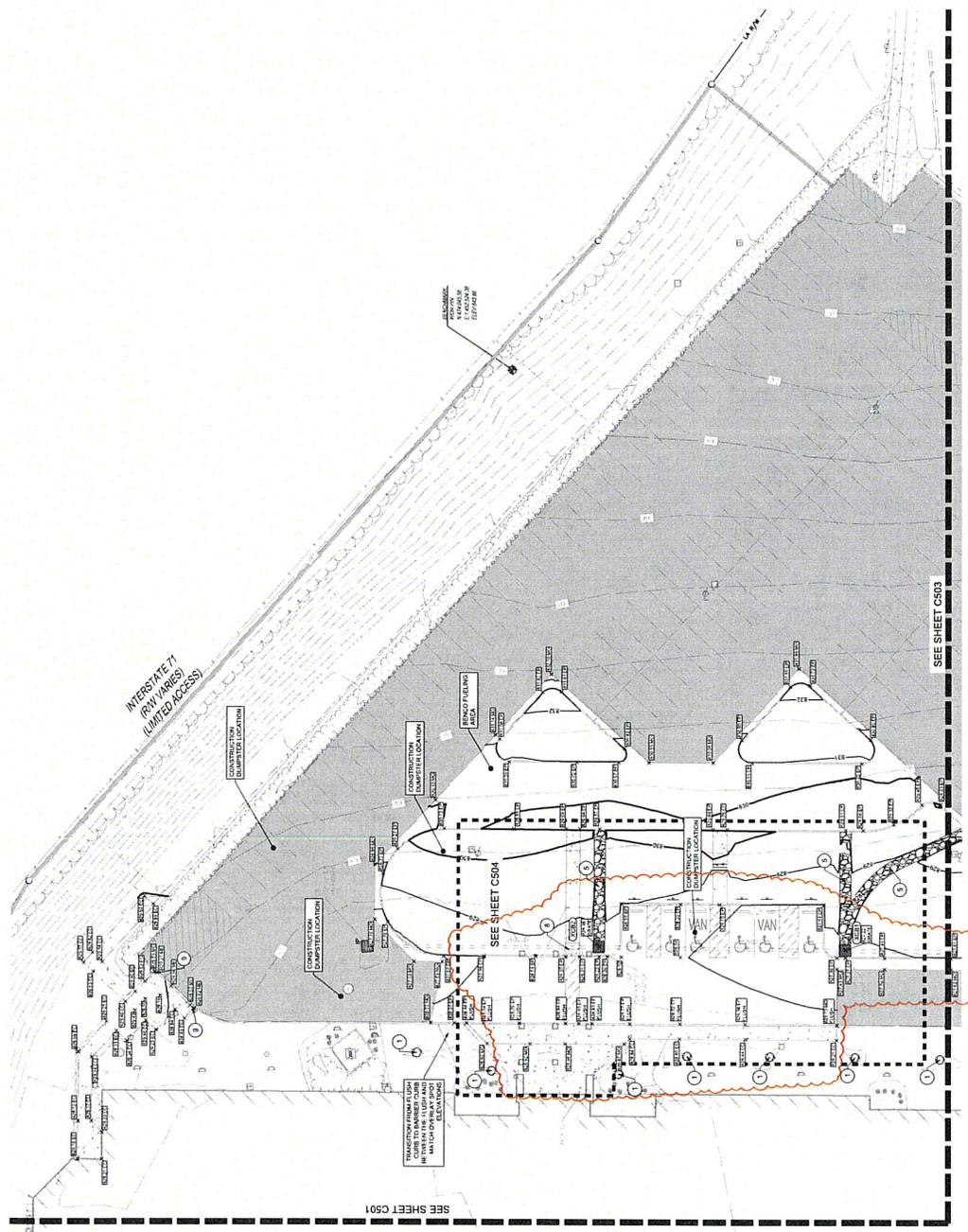
- INLET PROTECTION
- SET FENCE
- TREE PROTECTION
- CONCRETE WASHOUT
- CONSTRAINING ENTRENCHMENT
- SEE OVERALL GRADING PLAN
- ROOT TYPE C ROCK CHANNEL PROTECTION
- TREE TO BE PROTECTED
- CONCRETE WASHOUT
- NOT USED
- SET FENCE
- ROCK CHANNEL PROTECTION
- NOT USED
- NOT USED
- PERPENDICULAR ADA RAMP WITH RAIL
- CURB
- TRANSITION TO MATCH SIDEWALK FLARE TO EXISTING CURB TRANSITION

**GRADING PLAN NOTES**

1. TREE TO BE PROTECTED
2. CONCRETE WASHOUT
3. NOT USED
4. SET FENCE
5. ROCK CHANNEL PROTECTION
6. NOT USED
7. NOT USED
8. PERPENDICULAR ADA RAMP WITH RAIL
9. CURB
10. TRANSITION TO MATCH SIDEWALK FLARE TO EXISTING CURB TRANSITION

**NOTES**

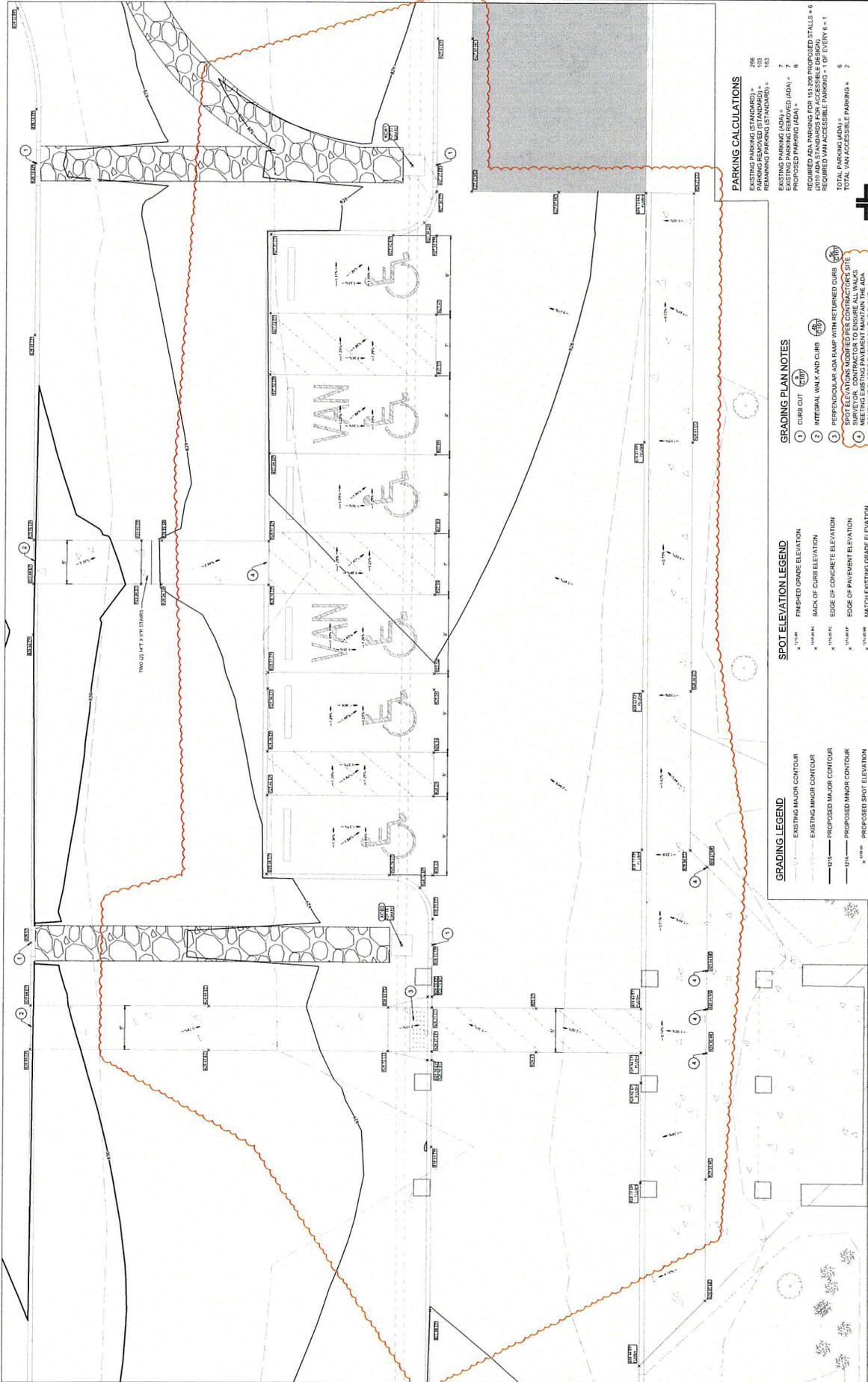
1. ALL WALKS ALONG ADA ROUTE, SEE C04 & C04A MUST MEET ADA GUIDELINES FOR MAXIMUM SLOPES
  - 1.1. MAXIMUM SLOPE: 5% (5:100) MUST BE TREATED AS RAMP
  - 1.2. MAX CROSS SLOPE: 2% (1:50) RECOMMENDED
2. OVERLAY AREA WHERE ASBESTOS PESTING GRADE BY 2" MILL AND THE OVERLAY AREA TO EXISTING PAVEMENT WITHIN 5' OF THE NEAREST JOINT
3. ALL EXISTING AND PROPOSED UTILITIES ARE PLOTTED FROM A COMBINATION OF AVAILABLE RECORD INFORMATION AND FIELD SURVEY. THE LOCATION OF UTILITIES SHOWN MAY NOT BE EXACT. PRECISE LOCATIONS AND THE DEPTHS OF UTILITIES SHOULD BE VERIFIED BY UTILITIES PROTECTION SERVICES AT 9:00 AM OR 4:00 PM BEFORE ANY POINTS OF UTILATION OR CONSTRUCTION ACTIVITIES.



**NOTE:**  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMBINATION OF AVAILABLE RECORD INFORMATION AND FIELD SURVEY. THE LOCATION OF UTILITIES SHOWN MAY NOT BE EXACT. PRECISE LOCATIONS AND THE DEPTHS OF UTILITIES SHOULD BE VERIFIED BY UTILITIES PROTECTION SERVICES AT 9:00 AM OR 4:00 PM BEFORE ANY POINTS OF UTILATION OR CONSTRUCTION ACTIVITIES.







**GOVERNOR'S HILL**  
**Apartment Final**  
**Development Plan**  
**8000 W. CENTER PARK DRIVE**  
**CINCINNATI, OH 45209**

PROJECT NO: 07242302  
 DATE: 07/24/2023  
 SCALE: 1" = 6'-0"  
 SHEET NO: 5 OF 13

**ADA PARKING DIMENSIONS AND GRADING PLAN**

**PARKING CALCULATIONS**  
 EXISTING PARKING (STANDARD) = 206  
 PARKING REMOVED (STANDARD) = 103  
 REMAINING PARKING (STANDARD) = 103  
 EXISTING PARKING (ADA) = 7  
 PROPOSED PARKING (ADA) = 7  
 REQUIRED ADA PARKING FOR 151,500 PROPOSED STALLS = 6  
 TOTAL ADA STANDARDS FOR ACCESSIBLE DESIGN (TOTAL ADA STANDARDS FOR ACCESSIBLE DESIGN) = 13  
 REQUIRED VAN ACCESSIBLE PARKING = 1 (OF 1000) = 1  
 TOTAL VAN ACCESSIBLE PARKING = 2

**GRADING PLAN NOTES**  
 1. CURB CUT  
 2. INTEGRAL WALK AND CURB  
 3. PERPENDICULAR ADA RAMP WITH RETURNED CURB  
 4. SPOT ELEVATIONS PROVIDED FOR CONTRACTOR'S SITE SURVEYOR. CONTRACTOR TO ENSURE ALL WALKS AND CURBS MEET ADA COMPLIANT SLOPES SHOWN ON THE PLANS.

**NOTES**  
 1. ALL WALKS ALONG ADA ROUTE (SEE CURB & CURB, MUST BE TREATED AS RAMP)  
 1.1. MAX RUNNING SLOPE: 5% (5.4% MUST BE TREATED AS RAMP)  
 1.2. MAX CROSS SLOPE: 2% (1.5% RECOMMENDED)  
 2. OVERLAY AREA INCREASES EXISTING GRADE BY 2" MILL AND THE OVERLAY AREA TO EXISTING PAVEMENT WITHIN 5' OF THE EXISTING GRADE.  
 3. DIMENSIONS FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES ARE TO THE CENTRELINE OF PAVEMENT STRIPING.

**SPOT ELEVATION LEGEND**  
 X 1/16" = FINISHED GRADE ELEVATION  
 X 1/8" = BACK OF CURB ELEVATION  
 X 1/4" = EDGE OF CONCRETE ELEVATION  
 X 3/8" = EDGE OF PAVEMENT ELEVATION  
 X 1/2" = MATCH EXISTING GRADE ELEVATION  
 X 5/8" = MATCH OVERLAY GRADE ELEVATION  
 X 3/4" = STORM INLET TOP OF CASTING ELEVATION  
 X 7/8" = CATCH BASIN GRADE ELEVATION

**GRADING LEGEND**  
 --- EXISTING MAJOR CONTOUR  
 --- EXISTING MINOR CONTOUR  
 --- PROPOSED MAJOR CONTOUR  
 --- PROPOSED MINOR CONTOUR  
 X 1/16" = PROPOSED SPOT ELEVATION  
 [ ] OVERLAY EXISTING PAVEMENT AREA

**GRADING CALCULATIONS**  
 EXISTING PARKING (STANDARD) = 206  
 PARKING REMOVED (STANDARD) = 103  
 REMAINING PARKING (STANDARD) = 103  
 EXISTING PARKING (ADA) = 7  
 PROPOSED PARKING (ADA) = 7  
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**NOTES**  
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 3. DIMENSIONS FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES ARE TO THE CENTRELINE OF PAVEMENT STRIPING.

**OHIO1011 City**  
 Before You Dig

NOTE: ALL INFORMATION IS BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**RECORD LEGAL INFORMATION**  
(from commitment)

This is the site plan for the proposed development. The site is located at the intersection of [Street Name] and [Street Name]. The site is bounded by [Street Name] to the north, [Street Name] to the south, [Street Name] to the east, and [Street Name] to the west. The site is currently zoned [Zoning Code]. The proposed development consists of [Building Type] with a total area of [Area]. The site plan shows the layout of the building, parking spaces, and landscaping. The site is shown in relation to the surrounding streets and landmarks. The site is shown in relation to the surrounding streets and landmarks. The site is shown in relation to the surrounding streets and landmarks.

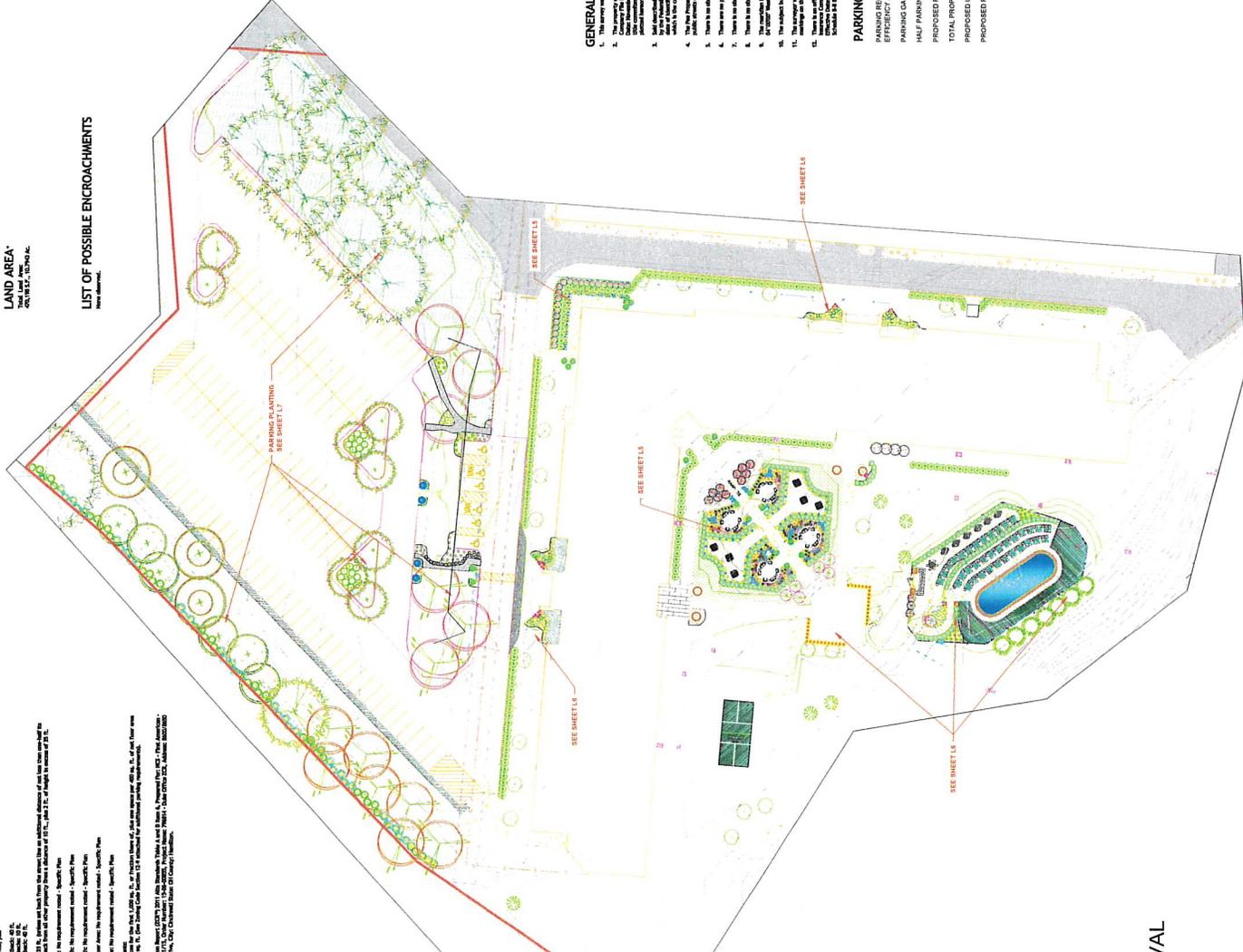
**ZONING INFORMATION:**

Address: [Address]  
 City: [City]  
 State: [State]  
 Zip: [Zip]  
 The proposed development is located within the [Zoning Code] zone. The [Zoning Code] zone is defined by the [Municipal Code]. The [Zoning Code] zone allows for the proposed development. The [Zoning Code] zone is defined by the [Municipal Code]. The [Zoning Code] zone allows for the proposed development. The [Zoning Code] zone is defined by the [Municipal Code]. The [Zoning Code] zone allows for the proposed development.

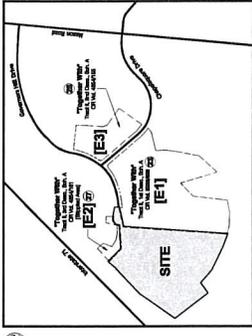
**LIST OF POSSIBLE ENCROACHMENTS**

1. [Encroachment 1]  
 2. [Encroachment 2]  
 3. [Encroachment 3]  
 4. [Encroachment 4]  
 5. [Encroachment 5]

**LAND AREA:**  
 Total Land Area:  
 40,181 sq. ft. (924 sq. ft.)



**VELOCITY MAP**  
 WITH CALCULATED VELOCITIES  
 OF NON-RESIDENTIAL TRAFFIC



**SCHEDULE B-2 EASEMENT NOTES**

1. [Note 1]
2. [Note 2]
3. [Note 3]
4. [Note 4]
5. [Note 5]
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7. [Note 7]
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**INDEX**  
 L4 - OVERALL  
 L5 - BUILDING PLANTING  
 L6 - AMENITY PLANTING  
 L7 - PARKING PLANTING  
 L8 - TREE PRESERVATION/REMOVAL  
 L9 - SPECIFICATIONS

**GENERAL SURVEY NOTES:**

1. [Note 1]
2. [Note 2]
3. [Note 3]
4. [Note 4]
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99. [Note 99]
100. [Note 100]

**PARKING:**

- PARKING REQUIREMENTS: ONE AND A HALF SPACES PER ONE-BEDROOM OR EFFICIENCY APARTMENT IN A MULTIPLE DWELLING.
- PARKING GARAGE CAPACITY - 245 PARKING SPACES
- HALF PARKING GARAGE CAPACITY - 122 PARKING SPACES
- PROPOSED FRONT PARKING LOT CAPACITY - 175 PARKING SPACES
- TOTAL PROPOSED PARKING CAPACITY - 548 PARKING SPACES
- PROPOSED UNIT COUNT - 255 UNITS
- PROPOSED PARKING RATIO - 2.17 PARKING SPACE/UNIT



GAYLE A. FRAZER  
 REGISTERED LANDSCAPE ARCHITECT

Governors Hill Apartment Plan  
 Development Final



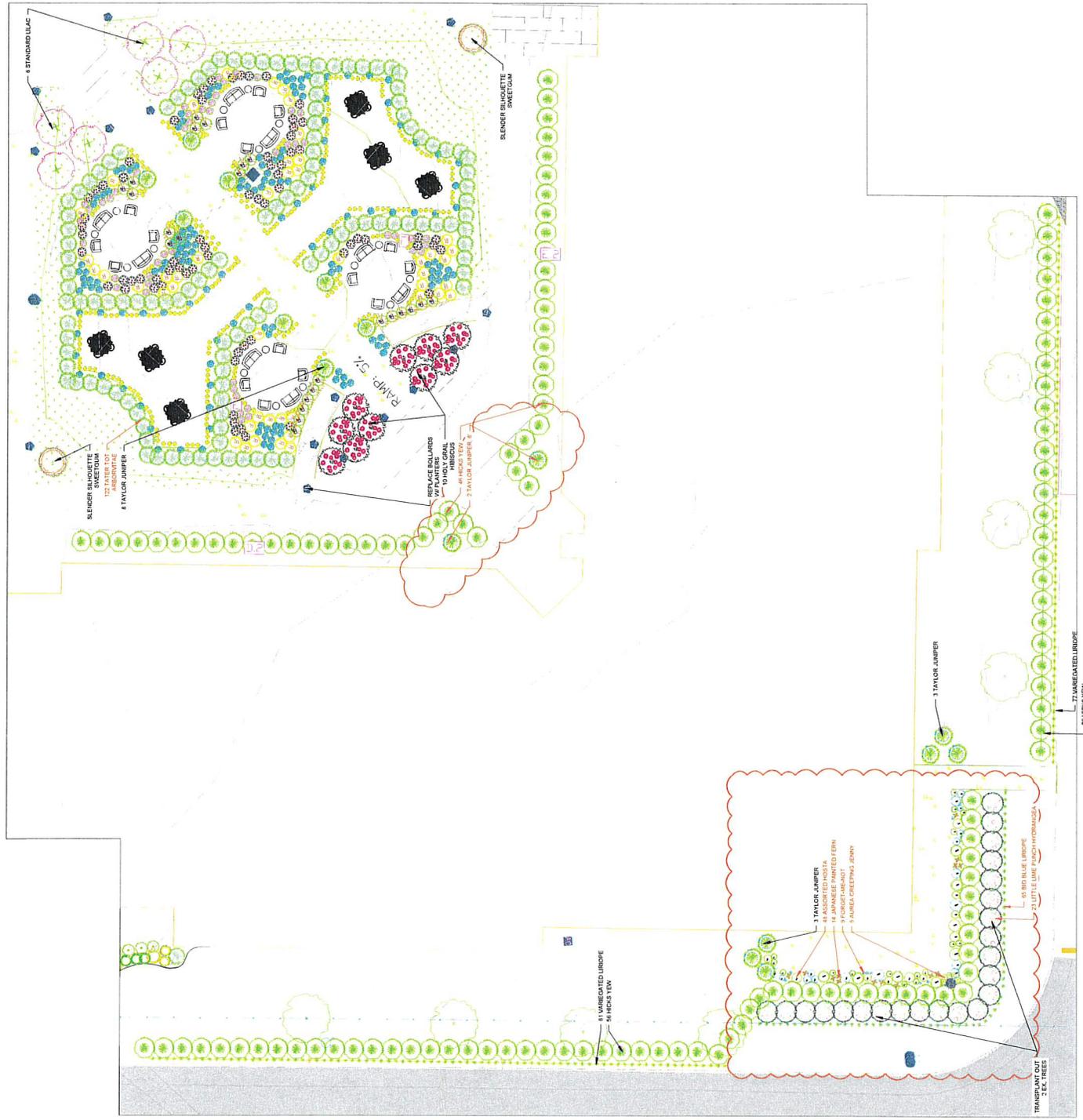
LANDSCAPE PLAN
SCALE: 1" = 30'
8/26/2024
REVISIONS
6 of 13



LANDSCAPE PLAN: REVISIONS - COMPLETED BY: GAILE A. FRAZER  
OPTION: BRASSFIELD DRIVE, STEEL BORDING  
PHOTIC SAMPLES FOR CLIENT REVIEW  
ALTERNATE OPTION: LOW PROFILE ARTIFICIAL TURF  
WITH UNDERLAY FOR CLEAN TO MAINTAIN

COURTYARD PLANT KEY

- 46 BLACK-LEAFED SUSAN
- 48 MILLENNIUM ALLIUM
- 24 FEENY
- 69 RUBY STAR ECHINACEA
- 152 CRAZY BLUE RUSSIAN SAGE
- 278 ZAGREB COREOPSIS



TRANSPANT OUT  
5' EK TREES







GAYLE A FRAZER  
REGISTERED LANDSCAPE ARCHITECT

Governors Hill Apartment Final  
Development Plan



LANDSCAPE PLAN  
SCALE  
1" = 10.0'  
8/26/2024  
REVISIONS  
10 of 13



**KEY**

○ TREE TO BE PRESERVED

✗ TREE TO BE REMOVED

EX WOODS TO REMAIN UNDISTURBED

EXISTING  
WALKWAY  
TO  
REAR  
OF  
BUILDING

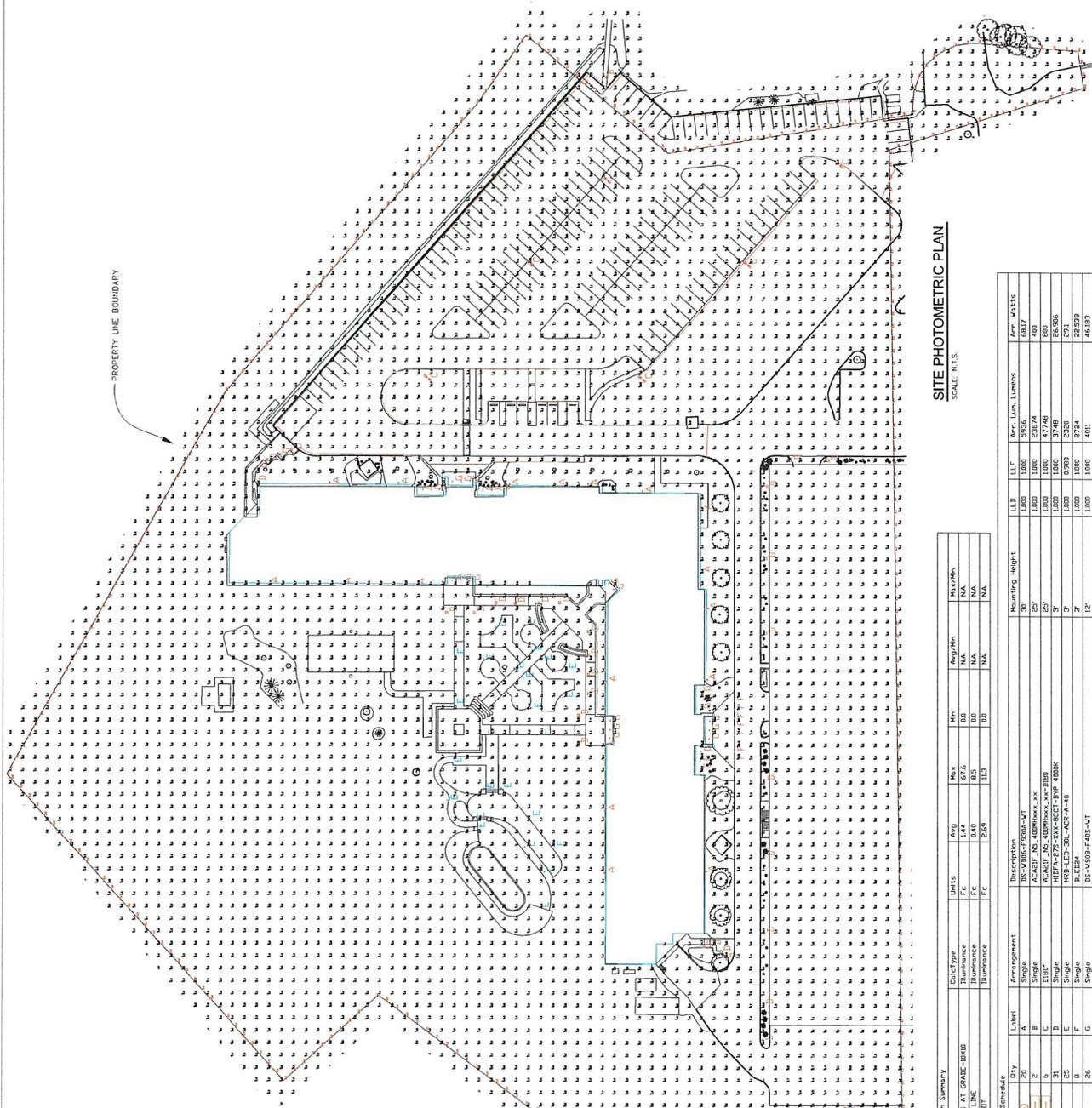
TREE DEMO SCALE 1" = 20"

PROPOSED  
PARKING  
AREA

EXISTING  
WOODS TO REMAIN UNDISTURBED

EXISTING  
WOODS TO REMAIN UNDISTURBED





SITE PHOTOMETRIC PLAN  
 SCALE: N.T.S.

Calculation Summary	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC AT GRADE-1000	FC	1.54	67.6	0.0	N/A	N/A
ALL CALC AT GRADE-1000	FC	2.69	31.3	0.0	N/A	N/A

Label	Category	Description	LLD	LLC	Area Lum. Lumens	Area W/LT'S
20	Area Equipment	DS-VJBR-F300A-VF	1,000	1,000	593K	6817
2	Single	ACADIF-JS-400Hxxx-xx	1,000	1,000	23074	490
6	Single	ACADIF-JS-400Hxxx-xx	1,000	1,000	47748	860
3	Single	ACADIF-JS-400Hxxx-xx	1,000	1,000	23074	490
25	Single	MR-LI-D3-24S-A-1-0	1,000	1,000	2325	293
4	Single	BL-124	1,000	1,000	2724	22,539
26	Single	DS-VJBR-F43S-VF	1,000	1,000	4011	46183

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