



August 7, 2024

Mr. Bryan Snyder, AICP
Zoning Administrator
Hamilton County Planning and Zoning Department
138 E. Court Street, Room 801
Cincinnati, OH 45202-1237

RECEIVED
AUG 13 2024

Via Overnight Mail

RE: First Watch - Harpers Point
11301 Montgomery Road

Dear Bryan:

Please accept this letter of request for placement on the next STZC agenda (9/18/24).

This existing First Watch restaurant is located at the intersection of Montgomery Road & Harper Point Drive. First Watch is requesting a minor modification to the existing Final Development Plan to allow for an outdoor patio and dining area.

The proposed covered patio would be approximately 384 square and enclosed by a brick wall. The general project scope would include:

- New entry vestibule; storefront will be altered to allow for new door
- Converting (and replacing) 2 handicap parking spaces into a concrete pad for patio
- New landscape bed between patio & drive aisle
- Fill in landscape bed along side of building to create a new sidewalk from rear exit to the new patio.

Per the requirements of Symmes Township, I am enclosing the following information:

- 1) FDP Application Submission checklist;
- 2) Seven full size copies of Site Plan & Elevations
- 3) Application fee of \$2,334.15

Please let me know if you require any additional information or have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Jasmine Castillo".

Jasmine Castillo
Development Analyst
CDS Development



ARCHITECTURAL DEVELOPMENT INTERNATIONAL
 10000 W. 12th Avenue, Suite 100
 Denver, CO 80202
 Phone: 303.751.1111
 Fax: 303.751.1112
 www.firstwatch.com



PROJECT: FIRST WATCH
 DATE: 07/27/2022
 DRAWING NO.: 2022-0001
 SHEET NO.: A003
 OF 4

FIRST WATCH

BREAKFAST • BRUNCH • LUNCH

FIRST WATCH
 HARPER'S POINT
 CINCINNATI, OH

THE FINAL DEVELOPMENT
 PLAN
 SITE PLAN &
 DEMO PLAN

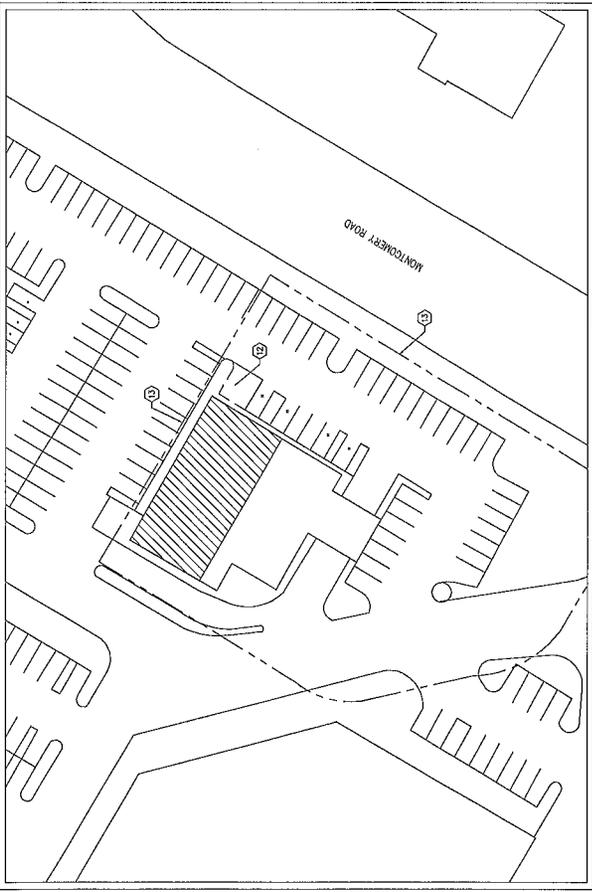
SHEET
 A003
 2 of 4

GENERAL NOTES

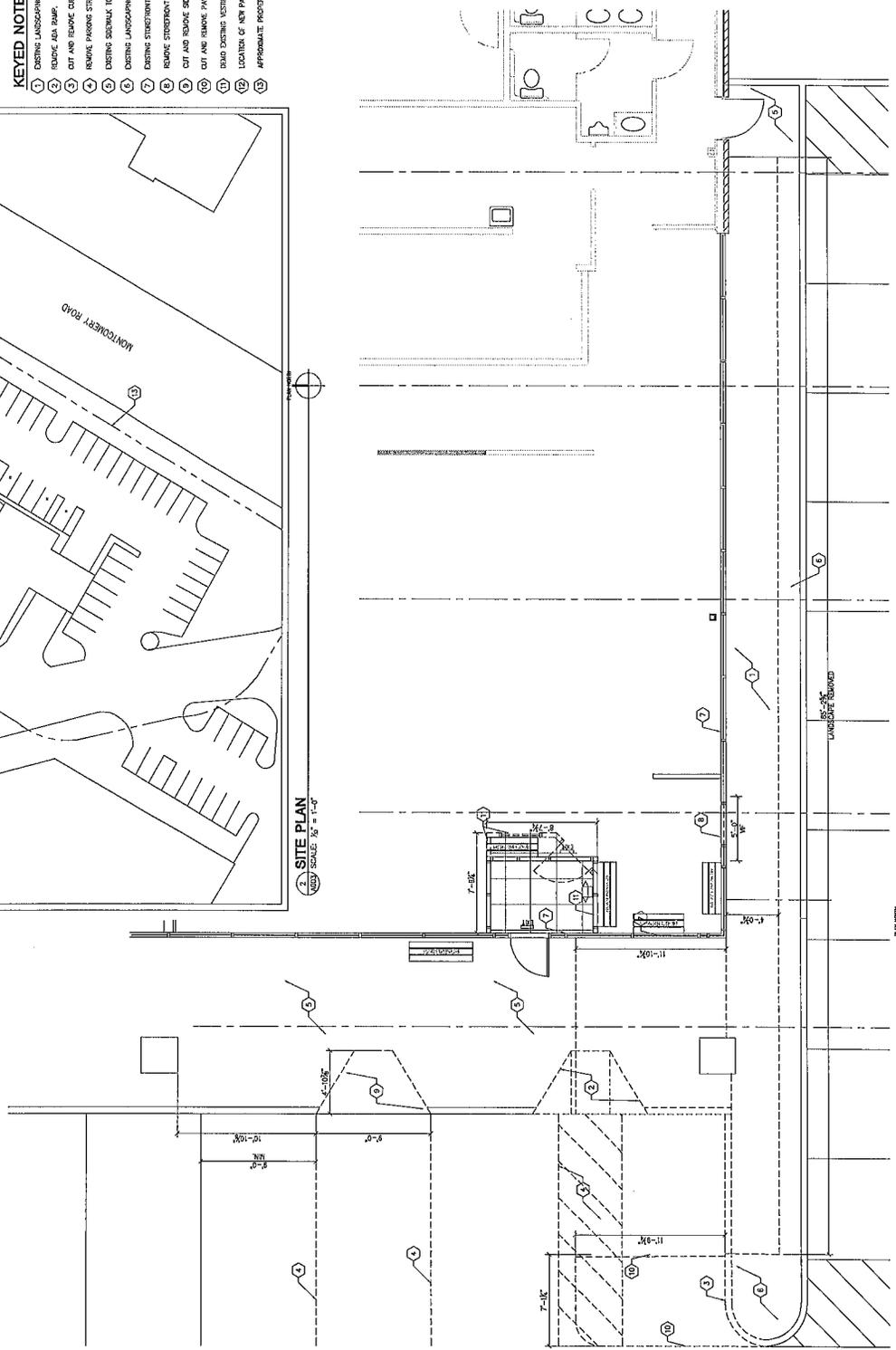
- UNLATCHED WALL PARTITIONS ARE EXISTING (OR REMAINING) SHARED WALL PARTITIONS ARE NEW AND INDICATED WITH HATCH AND PARTITION UTILITIES INDICATED REFER TO PARTITION TYPES ON THIS SHEET.
- EXISTING PARTITIONS ARE TO REMAIN UNLESS INDICATED OTHERWISE.
- EXISTING PARTITION WALLS TO BE REMOVED OR RECONSTRUCTED AS NOTED.
- DOOR OPENING NUMBERS INDICATED REFER TO DOOR SCHEDULE ON SHEET A001.
- CONTRACTOR TO VERIFY GENERAL DIMENSIONS OF EXISTING ROOMS TO LAYOUT OF NEW PARTITIONS. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- REPAIR AND TOUCH UP CEILING, WALLS AND FLOOR ENCLOSURES WHERE PARTITIONS, CEILING BEAMS, DOORS, PARTITIONS, FINISHES, ETC. ARE REMOVED.
- REPAIR OF PARTITIONS WITH EXISTING CONSTRUCTION AS SHOWN UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL VERIFY THE WALL BUILDING SEAL DETAILS FOR THIS PROJECT. SEALS SHALL BE INSTALLED AS NOTED. SEALS SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO PREVENT WATER INTRUSION FOR DISINTEGRATION.

KEYED NOTES

- EXISTING LANDSCAPING TO BE REMOVED
- REMOVE ADA RAMP
- CUT AND REMOVE CURB
- REMOVE PARKING STRIPES
- EXISTING SIDEWALK TO REMAIN
- EXISTING LANDSCAPING TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- REMOVE STRUCTURE SECTION
- CUT AND REMOVE SIDEWALK FOR NEW ADA RAMP
- CUT AND REMOVE PAVEMENT FOR NEW LANDSCAPE BED
- REAR EXISTING VESTIBULE
- LOCATION OF NEW PAVEMENT AND LANDSCAPE BED
- APPROXIMATE PROPERTY LINE



2 SITE PLAN
 SCALE: 1/8" = 1'-0"



1 DEMO PLAN
 SCALE: 1/4" = 1'-0"



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DATE: 08/26/2008
 DRAWN BY: D.A.S.
 CHECKED BY: D.A.S.

NO.	DATE	BY	DESCRIPTION
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FIRST WATCH

BREAKFAST • BRUNCH • LUNCH

FIRST WATCH
HARPER'S POINT
 CINCINNATI, OH

Project Name: _____
 Project No.: _____
 Date: _____

FINAL DEVELOPMENT
PLAN
PATIO PLAN
AND DETAILS

Sheet: **A107**
 of 4

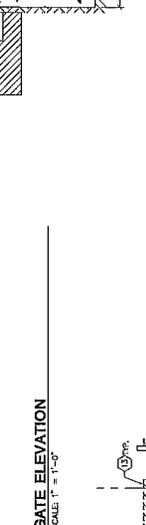
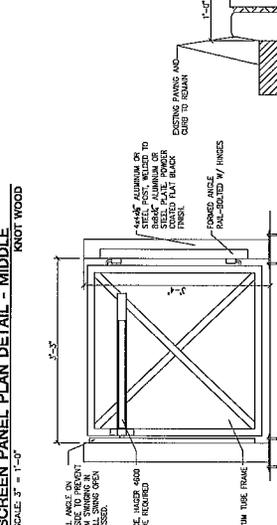
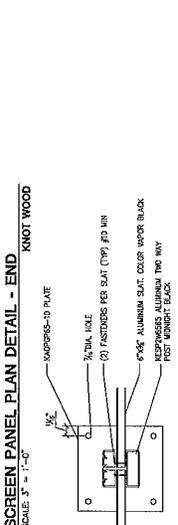
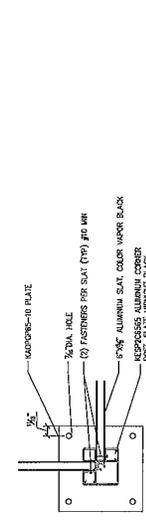
GENERAL NOTES

1. STEEL POST AND WOOD PROMOVER BY G.C.
2. ALL LIGHTING & RIMS TO BE DESIGN BUILT

KEYED NOTES

1. NEW AND WOOD SLATS, VARIOUS GRAYS MONUMENT BLACK POSTS.
2. NEW CANTY FOR NEW CANTY; PROVIDED BY VENDORS
3. CANTY ROOF MEME.
4. EXISTING SIDEWALK
5. NEW LANDSCAPING
6. NEW PARKING STRIPS
7. NEW BRICK SIDE WALL
8. NEW BOLLARD LOCATED IN FRONT OF EXISTING PARKING SPACE. SEE DETAIL 2/10/7
9. NEW ADA RAMP (1-12) WITH FLARED RAMPS ON EITHER SIDE (1-10LL)
10. NEW ADA SIGN
11. ADA WORK CLEARANCE
12. APPROXIMATE LOCATION OF PROPERTY LINE

CONSTRUCTION CONTACT	
DIRECTORY -	
ALTERNATE VENDORS MAY BE USED PENDING FIRST WATCH APPROVAL	
ITEM SUPPLIED	CONTRACTOR/SUPPLIER
EXTERIOR ALUMINUM BAILING POST & SLATING	



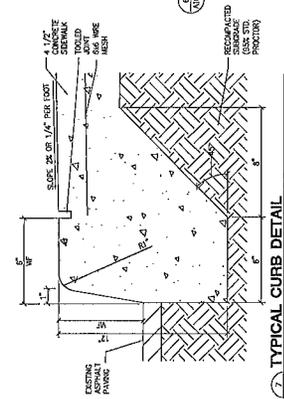
1. KNOT WOOD SCALE: 3\"/>

2. SCREEN PANEL PLAN DETAIL - CORNER SCALE: 3\"/>

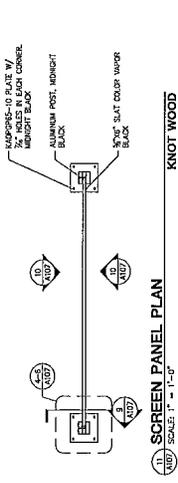
3. SCREEN PANEL PLAN DETAIL - MIDDLE SCALE: 3\"/>

4. SCREEN PANEL PLAN DETAIL - MIDDLE SCALE: 3\"/>

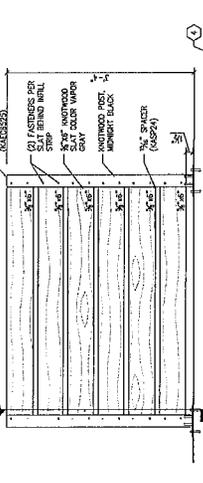
5. GATE ELEVATION SCALE: 1\"/>



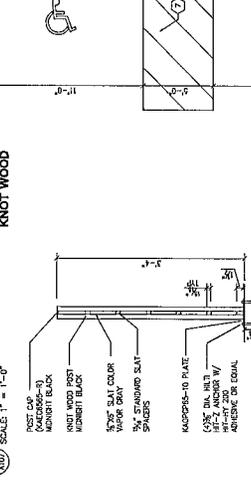
6. TYPICAL CURB DETAIL SCALE: 3\"/>



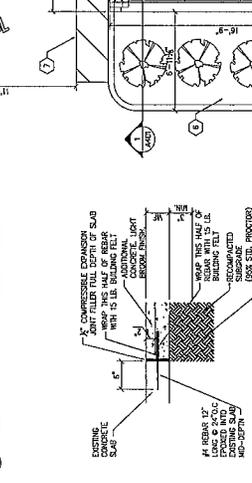
7. SCREEN PANEL PLAN SCALE: 1\"/>



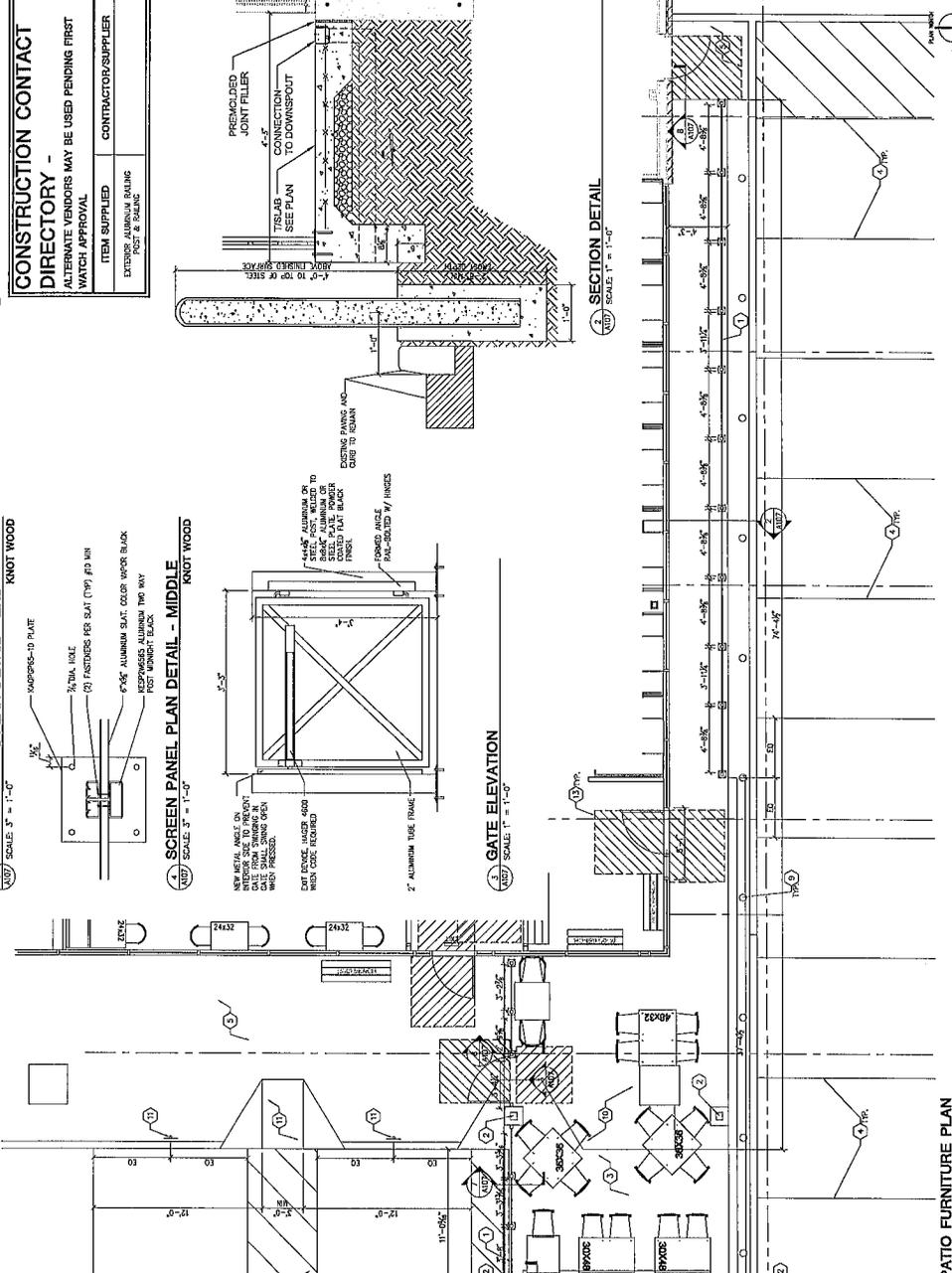
8. SCREEN PANEL ELEVATION SCALE: 1\"/>



9. SCREEN PANEL SECTION SCALE: 1\"/>



10. CONSTRUCTION JOINT SCALE: 1\"/>



1. PATIO FURNITURE PLAN SCALE: 1/4\"/>

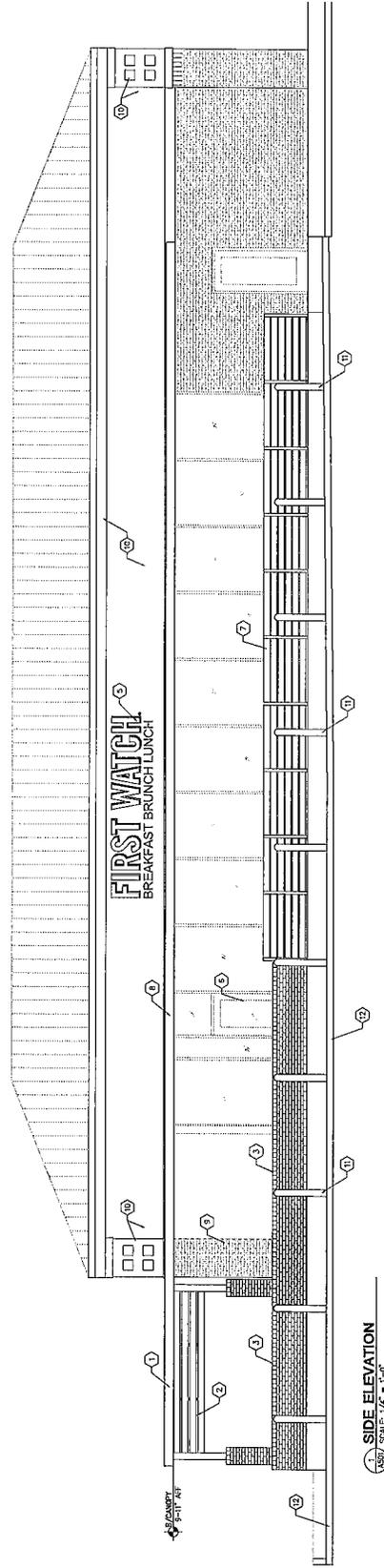
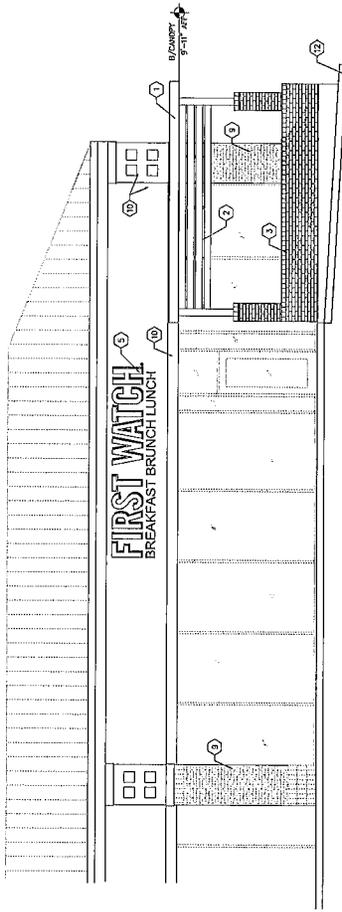
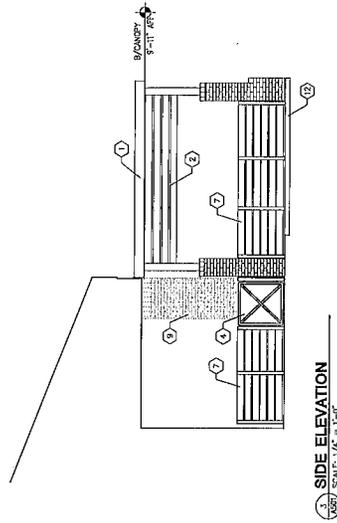
7. SECTION DETAIL SCALE: 1\"/>

GENERAL NOTES

1. WITH RESPECT TO THE STRUCTURAL BALANCE/RAMING SYSTEM, THE DRAWING INDICATES THE EXISTING AND DIMENSIONAL DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. ALL WOOD BLOCKING IS TO BE FIRE-RETARDANT-TREATED.
3. DOOR OPENING NUMBERS INDICATED REFER TO DOOR SCHEDULE ON METAL TITAN.
4. FINISHES ARE AS INDICATED ON DRAWINGS. FINISHES ON SHEET AND EXCEPT AS INDICATED OTHERWISE ON PLAN OR ELEVATIONS. ALL MATERIALS MUST BE INSTALLED TO FIRST WATCH SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. FINISHES SHALL BE MATCHED TO THE CONTRACTOR AT HIS COST TO FIRST WALK.

KEYED NOTES

1. ALUMINUM CANOPY AUCK EDITION WITH TOP OF STRUCTURE
2. WOOD SCREEN SUSPENDED BELOW PAISLE CANOPY
3. NEW BRICK RISE WALL
4. PAISLE CANE
5. EXISTING STAIRCASE TO REMAIN
6. NEW STAIRWELL DOOR TO MATCH EXISTING STAIRWELL
7. NEW WOODWORK FINISHING AROUND PAISLE
8. NEW BRICK WORKING ABOVE BOTTOM WITH TOP OF STRUCTURE
9. EXISTING BRICK EXTERIOR BUILDING COLUMN
10. EXISTING GUTTER PATCH AND REPAIR ANY DAMAGED JOISTS, MATCH EXISTING COLOR
11. NEW CONCRETE FILLER BELOW
12. CONCRETE CURB TO FOLLOW EXISTING PARALLEL CURB



No.	Date	By	Description
1	07/24/2024	JANUARY	ISSUED FOR PERMIT

FIRST WATCH
BREAKFAST • BRUNCH • LUNCH

FIRST WATCH
HARPER'S POINT
CINCINNATI, OH

ARCHITECT: PROJECT NO. 2024
NAME: DATE: 07/24/2024

FINAL DEVELOPMENT
PLAN
EXTERIOR
ELEVATIONS
ASOT
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