



www.kleingers.com

December 11, 2020

Hamilton County Department of Planning and Development
138 E. Court Street, Suite 801
Cincinnati, OH 45202-1237

ATTN: Mr. Bryan D. Snyder, AICP
Development Services Administrator

RE: Thornton's – P2012 Store
Montgomery Road & Fields Ertel Road

Dear Mr. Snyder,

Please find enclosed the Final Development Plan submittal for the above referenced project. We submit the enclosed in anticipation of meeting the December 14, 2020 deadline for the January 20th Zoning Commission Meeting.

If you should have any questions please don't hesitate to contact me.

Sincerely,
THE KLEINGERS GROUP

Gregory W. Bennett, RLA
Louisville Group Leader

cc: FILE

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DEC 16 2020

JOB #: 200413.000

FDP APPLICATION SUBMISSION CHECKLIST

1. **SUBMISSION DEADLINE** 12/14/20 for STZC agenda in month of January (20th)

The Final Development Plan must be submitted - complete - by the submission deadline in order to be placed on the STZC agenda on the third Wednesday of the month or as otherwise scheduled (**Attachment 1**). Earlier submission is recommended to assure adequate time for revisions and corrections prior to the submission deadline. Plans that are not complete at the time of the submittal deadline will not be accepted for processing by staff nor placed on the agenda for STZC review.

2. REQUIRED DOCUMENTS

- a. Submit **FIVE (5) COPIES** of the FDP including all information listed in Section 3.
- b. Submit **FIVE (5) COPIES** of each separate sheet as listed in items 3c, 3d, 3e, and 3f.
- c. Submit this completed form (Checklist of Requirements) with signature and date of submission. (**See Page 4**)
- d. Submit a letter of request for placement on the next STZC agenda.
- e. Submit **FIVE (5) COPIES** of the FDP reduced to 8½" x 11".

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DEC 16 2020

3. **CONTENT OF FINAL DEVELOPMENT PLAN**

All of the items in this section are an integral part of the FDP; incomplete applications will not be accepted for processing by staff nor placed on the agenda for STZC review. The FDP must include each of the following items:

- a. Identification
 - Each sheet must be titled "Final Development Plan" with the name of the project and subtitle of the particular drawing.
 - Each sheet is an integral part of the FDP and must contain a sheet number and the total number of sheets being submitted.
 - The subject property and all easements must be identified by metes and bounds and dimensions.
- b. Conformance to Preliminary Development Plan

Include all items required on the Preliminary Development Plan (conforming to established limits, conditions, and required revisions) complete with all necessary details, dimensions, and specifications to enable final review and enforcement.

✓ c. Grading Plan

Indicate proposed contours in solid lines at five (5) feet intervals or less; and existing contours in dashed lines. Use two (2) feet intervals where necessary to adequately indicate storm drainage.

✓ d. Landscape/Streetscape Plan

A landscape/streetscape plan for perimeter buffers and other required areas shall be prepared by a registered landscape architect, complete with all necessary details and specifications (i.e., type, size and quantity) for new landscaping features, a depiction of existing landscaping and tree mass that is to remain, and specifications for soil erosion and sedimentation control.

✓ e. Lighting & Sign Plan

Specify location, dimensions, details and specifications for all signs and exterior lights, including type of standards, radius of lights and intensity of footcandles.

✓ f. Floor Plans and Elevations

Submit typical floor plans and elevations if requested for final review.

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g. Revisions and Conditions

The FDP shall be in conformance with all revisions and conditions regarding:

- ✓ 1. sanitary sewerage as recommended by the Metropolitan Sewer District and the Ohio Environmental Protection Agency;
- ✓ 2. surface drainage as recommended by the Department of Public Works;
- ✓ 3. right-of-way, access, circulation, and improvements as recommended by the County Engineer and the Ohio Department of Transportation;
- ✓ 4. water supply, water pressure, access for emergency vehicles and other fire prevention measures as recommended by the Township Fire Prevention Officer;
- ✓ 5. erosion and sedimentation control as recommended by the Soil Conservation Service;
- ✓ 6. restrictive covenants contained in the Resolution adopted by the Symmes Township Board of Trustees (or previously by the Hamilton County Board of County Commissioners); and
- 7. other conditions and/or restrictive covenants applicable to the property.

h. Restrictive Covenants

All Restrictive Covenants itemized in the Resolution of Approval by the Symmes Township Board of Trustees (or previously by the Hamilton County Board of County Commissioners) must be printed on the FDP.

i. Methodology and Criteria for Enforcement (if requested)

Specify methodology and criteria for effectuating and evaluating compliance with performance related covenants and conditions required by the Resolution of Approval (this element will be forwarded to the Department of Building Inspections for review and approval).

j. Registration Stamp

Each sheet must contain the stamp, seal or other professional identification and the signature of the architect, landscape architect, professional planner or civil engineer who prepared each respective element of the FDP.

k. Deed of Acceptance

The Deed of Acceptance, signed by owner(s) must be on each sheet of the FDP (use standard form, Attachment 2).

For condominium development only, the Declaration of Condominium must be printed on the FDP. (Attachment 3)

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DEC 16 2020

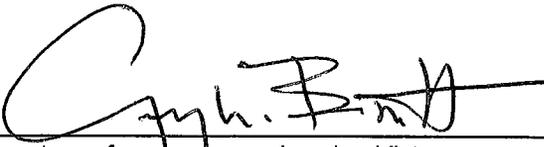
The 2020 Processing Fee

A check in the amount shown below, payable to Symmes Township Zoning Commission must accompany this checklist.

Two-thousand, four-hundred and fifty-two dollars and 00/00 (\$2,452.00) for first time final development plan + \$53.00 legal ad + 5% technology fee.

One-thousand, six-hundred and seventy-two dollars and 00/00 (\$1,672.00) for modification of previously approved FDP + \$53.00 legal ad + 5% technology fee.

NOTE: Information submitted shall be assumed to be correct and applicant and/or agent shall assume responsibility for any errors and/or inaccuracies resulting in an improper application.



Signature of person preparing checklist
(Applicant or Representative)

12/14/2020

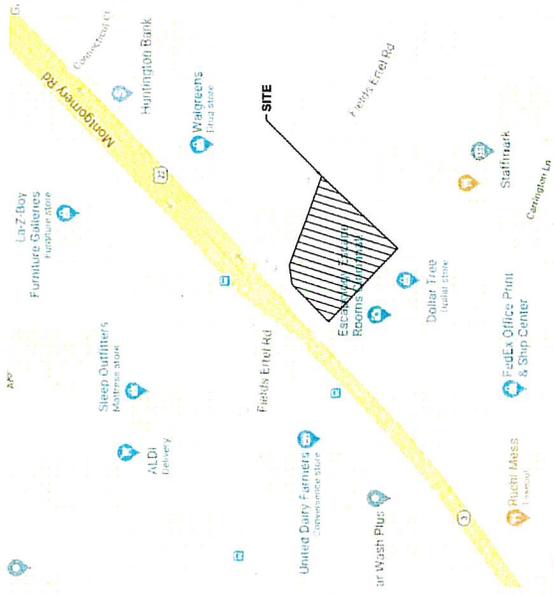
Date Submitted

THORNTONS

FIELDS ERTEL RD. AT MONTGOMERY RD.
 SYMMES TOWNSHIP, OH 45249



HAMILTON COUNTY



RECEIVED
 DEC 16 2020

Sheet Number	Sheet Title
CS.0	COVER SHEET
CS.1	SITE PLAN
CS.2	GRADING PLAN
CS.3	ADA PLAN
CS.4	PAVEMENT PLAN
CS.5	UTILITY PLAN
CS.6	L1 LANDSCAPE PLAN
CS.7	L1 LANDSCAPE DETAILS
PG 1 THRU 3	SIGNAGE PACKAGE
PG 1 THRU 7	BUILDING ELEVATIONS
PG 1 THRU 8	LIGHTING PACKAGE

SITE LOCATION MAP

PROJECT DESIGN TEAM

ARCH GREATER CINCINNATI KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837	ARCH JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	MEP JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	STRC JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	SURVEY LAND SURVEY, INC. 2008 CENTRAL AVE. CINCINNATI, OH 45214 (513) 860-389	EROSION HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757	STORM HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757	SANITARY CINCINNATI METROPOLITAN SEWER DISTRICT KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837	WATER GREAT CINCINNATI KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837
ENGINEER: KLEINGERS GROUP LIVE, INSPIRE, ENGAGE ARCHITECTURAL ARCHITECTURE www.kleingers.com 100 W. WYOMING ST. CINCINNATI, OH 45202	ARCH JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	MEP JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	STRC JIM VAUGHAN 737 S. 343 ST. LOUISVILLE, KY 40202 (502) 565-1181	SURVEY LAND SURVEY, INC. 2008 CENTRAL AVE. CINCINNATI, OH 45214 (513) 860-389	EROSION HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757	STORM HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757	SANITARY CINCINNATI METROPOLITAN SEWER DISTRICT KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837	WATER GREAT CINCINNATI KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837

ENVIRONMENTAL SERVICES INDUSTRIES, INC. 1340 KEMPER MEADOW DRIVE FOREST PARK, OH COLUMBUS, OH 43228 (614) 574-8500	LIGHTING TODD SHIELDS 1340 KEMPER MEADOW DRIVE FOREST PARK, OH COLUMBUS, OH 43228 (614) 574-8500	SIGNAGE 888 TYLER BLVD. MENTOR, OH 44060 (440) 209-6200	FUEL JASON HRABUSA 5870 STATE ROAD CLEVELAND, OH 44134 (440) 842-8801	CANOPY TBD
TELECOM. CINCINNATI BELL OR TIME WARRIOR Mark.Branciaro@bellsouth.com	GAS DUKE ENERGY MARK BRANCIARO 138 EAST COURT STREET ROOM 700 CINCINNATI, OH 45202 (513) 946-4250	ROAD HAMILTON COUNTY ENGINEERING DEPARTMENT 138 EAST COURT STREET ROOM 700 CINCINNATI, OH 45202 (513) 946-4250	HIGHWAY ODOT DISTRICT 8 TOM ARNOLD 138 EAST COURT STREET LEBANON, OH 45038 P:(513) 933-9389 F:(513) 622-7651	

LIST OF CONTACTS

ZONING HAMILTON COUNTY REGIONAL PLANNING BRYAN SVINDEY 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4464 Bryan.Svindey@hamilton-co.org	EROSION HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757 Mohammad.Gam@hamilton-co.org	STORM HAMILTON COUNTY STORMWATER AND DIVISION 138 EAST COURT STREET ROOM 801 CINCINNATI, OH 45202 (513) 946-4757	SANITARY CINCINNATI METROPOLITAN SEWER DISTRICT KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837	WATER GREAT CINCINNATI KEN ROSS 4747 SPRING GROVE AVE CINCINNATI, OH 45222 (513) 951-7837
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OWNER:
 THORNTONS LLC.
 2600 JAMES THORNTON WAY
 LOUISVILLE, KY 40245
 PHONE (502) 425-8022



C.O.0

NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL
 PATRICK WARRNMENT
 REGISTRATION NUMBER
 122520
 DATE: 05/31/2021

DESIGN: P.D.T
 DRAFTING: P.D.T
 DATE: 07/23/2020

COVER SHEET

SYMMES TOWNSHIP THORNTONS
 FINAL DEVELOPMENT PLAN

THORNTONS
 FIELDS ERTEL RD. AT MONTGOMERY RD.
 SYMMES TOWNSHIP, OH 45249

NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WARRENMENT
REGISTRATION NUMBER:
122820
DATE: 05/17/2021

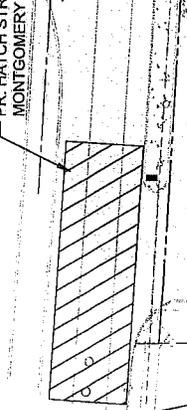
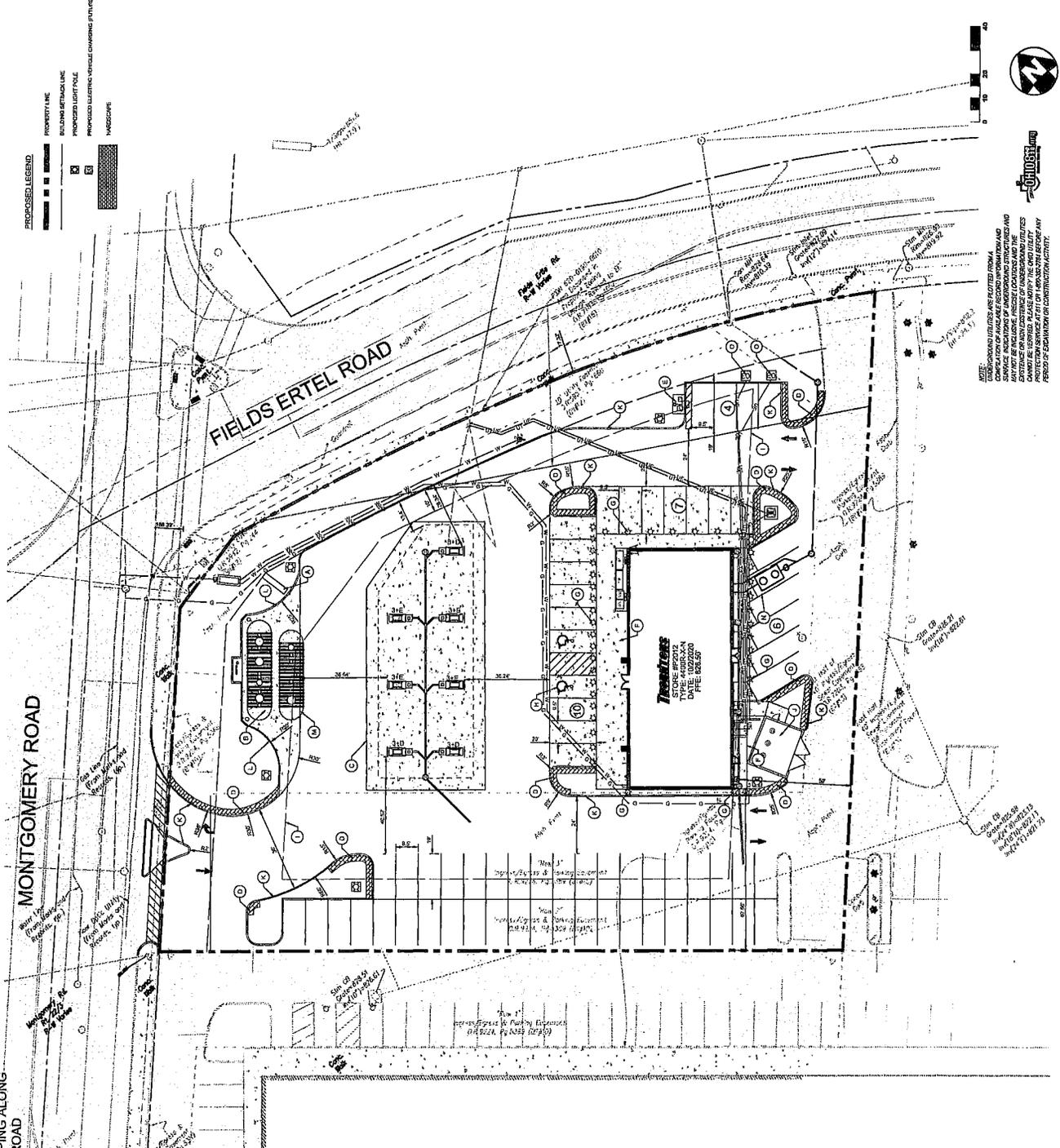
SCALE: 1" = 20'
DATE: 07/23/2020
DESIGN: P.D.T.
DRAFTING: P.D.T.

SITE PLAN
FINAL DEVELOPMENT PLAN
SYMES TOWNSHIP THORNTONS

7510 S. ERTLE RD. AT MONTGOMERY RD.
SYMES TOWNSHIP, OH 45249
THORNTONS



C3.0



PR. HATCH STRIPING ALONG MONTGOMERY ROAD
PR. DO NOT BLOCK SIGN

- SITE LEGEND:**
- A. PROPOSED MONUMENT SIGN. SEE DRAINAGE PACKAGE FOR DETAILS.
 - B. UNDERGROUND STORAGE TANKS.
 - C. STAINLESS STEEL CONCRETE REINFORCED SLAB WITH 1" BUFFER AROUND THE OUTSIDE BOUNDARY OF THE SIGN.
 - D. PROPOSED MONUMENTAL REFER TO THORNTONS STANDARD DETAIL.
 - E. PROPOSED AS TYPICAL ISLAND.
 - F. CONCRETE SIDEWALK. REFER TO THORNTONS STANDARD DETAIL.
 - G. ASPHALT DRIVEWAY. REFER TO THORNTONS STANDARD DETAIL.
 - H. ACCESSIBLE PARKING SPACE.
 - I. BUILDING NETWORK LINE.
 - J. WHITE ENCLOSURE.
 - K. TYPE 'C' CURB. REFER TO THORNTONS STANDARD DETAIL.
 - L. TYPE 'D' CURB. REFER TO THORNTONS STANDARD DETAIL.
 - M. MONUMENTAL CURB. REFER TO THORNTONS STANDARD DETAIL.
 - N. PROPOSED DRIVEWAY TRAY.
 - O. ELECTRIC VEHICLE CHARGING STATION.

- LOCATION NOTES:**
1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 2. ALL HATCH AREAS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
 3. PAVED DRIVEWAYS SHALL BE 4" WIDE YELLOW POLYURETHANE STRIPING APPLIED IN ACCORDANCE WITH THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION.
 4. REFER TO LANDSCAPE ARCHITECT'S LANSPEC FOR LOCATION AND DETAILS.
 5. ONLY USE ELECTRIC VEHICLE CHARGING STATIONS FOR RESIDENTIAL USE ONLY.

Required	Provided
Building Setback	50
Front: NORTHWEST	383.39
Front: SOUTHWEST	50
Side: SOUTHWEST	67.65
Side: NORTHWEST	71.22
Minimum	37
Maximum	N/A
Truck/Trailer Parking	N/A
Accessible/Van Accessible	2
Land Use Data	1 STORY
Max. Building Height	1 STORY
Zoning Category 1	E - RETAIL SERVICES
Zoning Category 2	N/A
Total Site Area	N/A
Building Area	4,510 S.F.
Existing Building Area	N/A
Onsite Vehicular Circulation (paved)	N/A
Onsite Open Space	N/A
Onsite Site Sidewalk	N/A
Truck Pad Area	N/A
Canopy Area	N/A
Off-site sidewalk area	N/A
Driveway apron/turnout area	N/A
Off-site roadway improvements	N/A

NOTE: CONDITIONS UTILITIES ARE SHOWN FROM THE SERVICE INDICATORS OF UNDERGROUND STRUCTURES AND SHALL BE VERIFIED BY THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.

NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WARMENT
REGISTRATION NUMBER:
122620
DATE: 05/03/2021

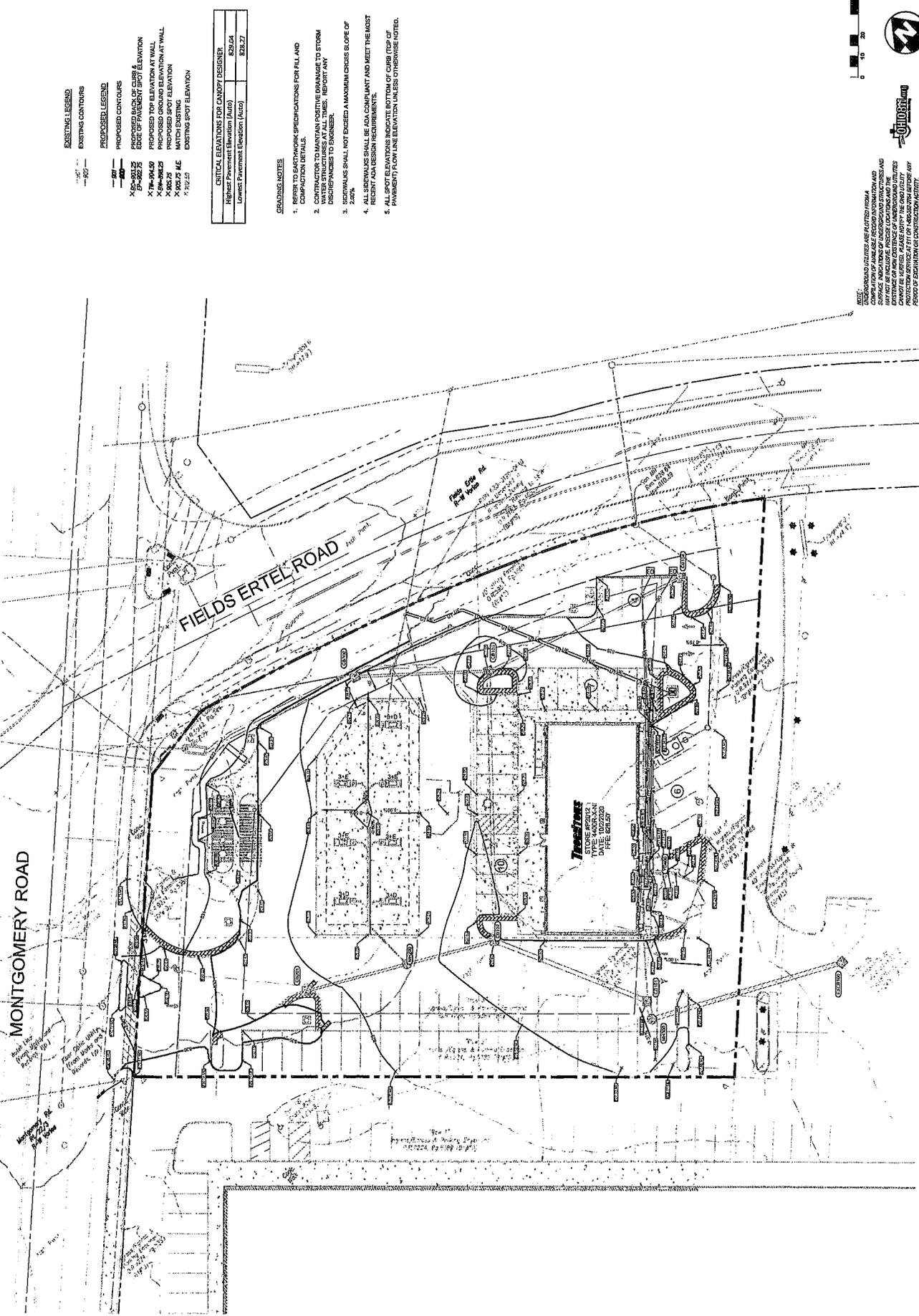
SCALE: 1" = 20'
DATE: 07/23/2020
DESIGN: PDT
DRAFTING: PDT

GRADING PLAN
SYMMES TOWNSHIP THORNTONS
FINAL DEVELOPMENT PLAN

SYMMES TOWNSHIP, OH 45249
FIELDS ERTEL RD. AT MONTGOMERY RD.
Thorntons



C5.0



- EXISTING LEGEND**
- EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
- PROPOSED LEGEND**
- PROPOSED CONTOURS
 - PROPOSED BACK OF CURB & EDGE OF PAVEMENT SPOT ELEVATION
 - PROPOSED TOP ELEVATION AT WALL
 - PROPOSED GROUND ELEVATION AT WALL
 - PROPOSED FINISH FLOOR ELEVATION
 - PROPOSED MATCH EXISTING
 - EXISTING SPOT ELEVATION

CRITICAL ELEVATIONS FOR CANOPY DESIGNER

Highest Pavement Elevation (Auto)	829.64
Lowest Pavement Elevation (Auto)	828.27

- GRADING NOTES**
- REFER TO CONTRACTOR'S SPECIFICATIONS FOR FILL AND COMPACTION DETAILS.
 - CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE TO STORM WATER STRUCTURES AT ALL TIMES. REPORT ANY DISCREPANCIES TO ENGINEER.
 - SICRIPALS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2.00%.
 - ALL SUBGRAVUS SHALL BE ADA COMPLIANT AND MEET THE MOST ALL CITY ASSESSMENT REQUIREMENTS.
 - ALL SPOT ELEVATIONS SHALL BE SPOT ELEVATIONS OF CURB (TOP OF PAVEMENT) FLOW LINE ELEVATION UNLESS OTHERWISE NOTED.

NOTES:
1. THIS PLAN IS THE PROPERTY OF THE ENGINEER.
2. THE ENGINEER HAS CONDUCTED VISUAL INSPECTION AND SURFACE MEASUREMENTS OF EXISTING CONDITIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE EXISTING RECORD DRAWINGS AND UTILITIES RECORDS.
3. THE ENGINEER HAS CONDUCTED VISUAL INSPECTION AND SURFACE MEASUREMENTS OF EXISTING CONDITIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE EXISTING RECORD DRAWINGS AND UTILITIES RECORDS.
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5. THE ENGINEER HAS CONDUCTED VISUAL INSPECTION AND SURFACE MEASUREMENTS OF EXISTING CONDITIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE EXISTING RECORD DRAWINGS AND UTILITIES RECORDS.



NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WARMENT
REGISTRATION NUMBER:
122620
DATE: 08/18/2021

SCALE: 1" = 20'
DATE: 07/29/2020
DESIGN: PDT
DRAFTING: POT

ADA PLAN
FINAL DEVELOPMENT PLAN
SYMME TOWNSHIP THORNTONS

SYMME TOWNSHIP, OH 45249
FIELDS ERTEL RD AT MONTGOMERY RD.
THORNTONS



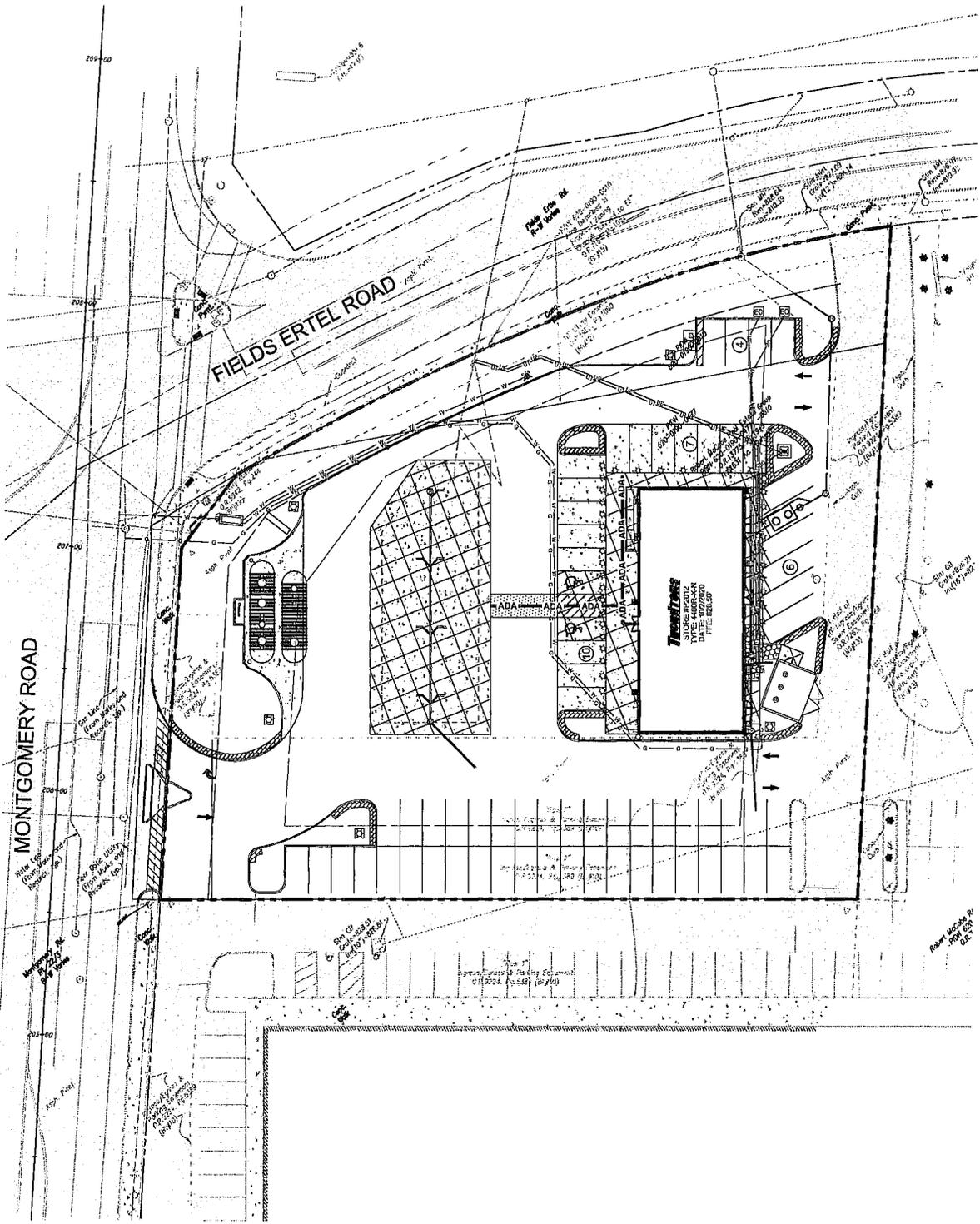
C5.3

PROPOSED LEGEND

	2% MAX GRADE IN ALL DIRECTIONS
	2% MAX CROSS SLOPE & 6% MAX RUNNING SLOPE
	ADA RAMP: 8.33% MAX RUNNING SLOPE
	ADA PATH OF TRAVEL



NOTES:
1. ALL INFORMATION IS TO BE OBTAINED FROM A COMPARISON OF AVAILABLE RECORD INFORMATION AND FIELD SURVEY. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF ANY INFORMATION NOT SHOWN ON THIS PLAN.
2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS OF THE PROPERTY AND UTILITIES.
3. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.
4. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.
5. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.
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8. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.
9. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.
10. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND UTILITIES.



NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WARMENT
REGISTRATION NUMBER:
122820
DATE: 05/31/2024

DESIGN: PDT
DRAFTING: PDT
DATE: 07/23/2020
SCALE: 1" = 20'

PAVEMENT PLAN
SYMME'S TOWNSHIP THORNTONS
FINAL DEVELOPMENT PLAN

SYMME'S TOWNSHIP, OH 45249
FIELDS ERTEL RD. AT MONTGOMERY RD.
Thorntons



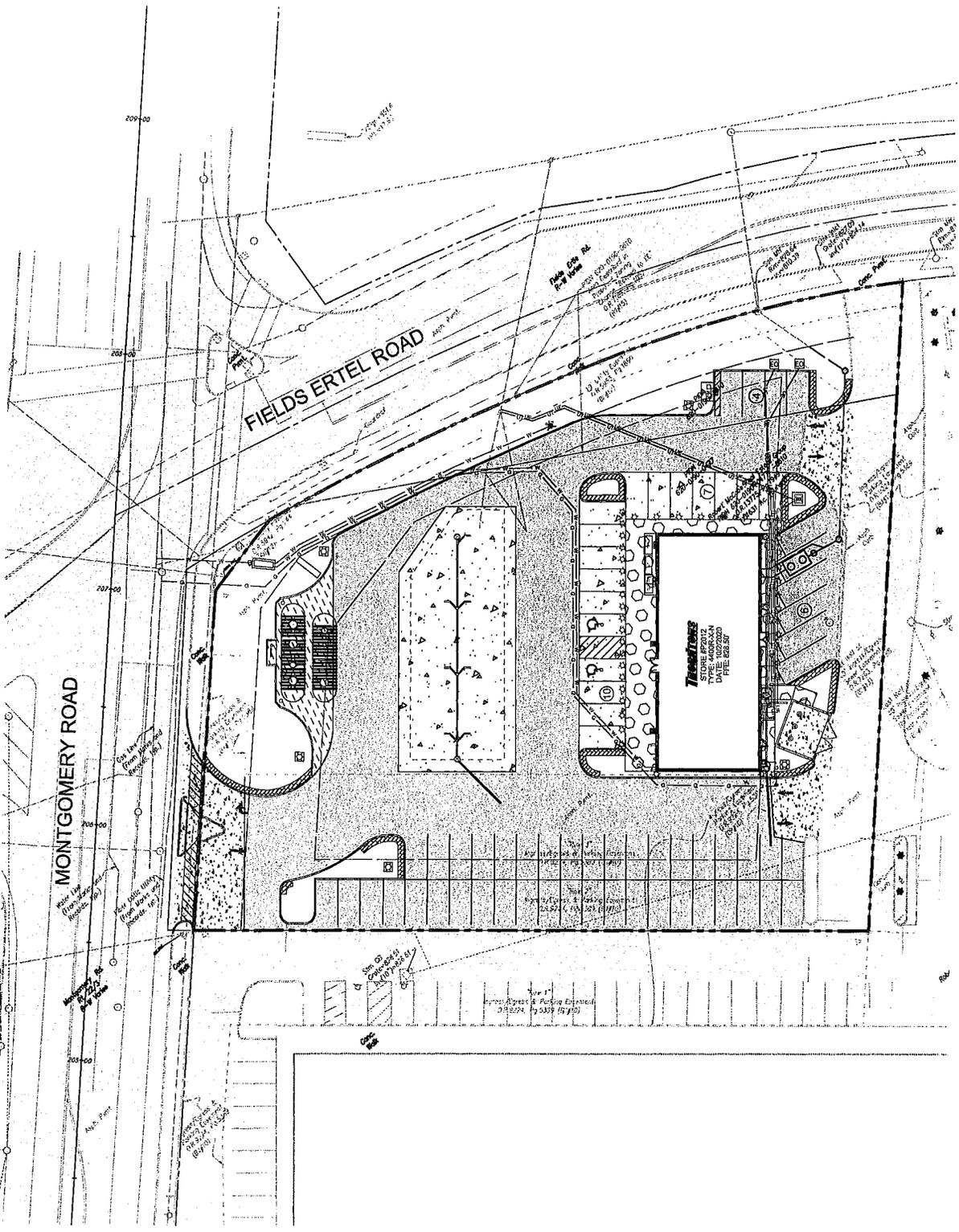
C5.4

PROPOSED LEGEND

	SYMME'S CITY ASPHALT 1/2"
	HEAVY DUTY ASPHALT 1/2"
	SYMME'S CITY CONCRETE 1/2"
	HEAVY DUTY CONCRETE 1/2"
	18" and 24" CONCRETE SECTION 1/2"
	CONCRETE WALK 1/2"



NOTE:
THESE PLANS ARE FOR THE USE OF THE CITY OF SYMME'S TOWNSHIP AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND DEPTHS OF ALL UTILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

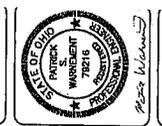
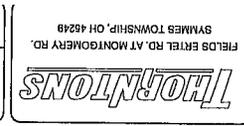


NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WARMINT
REGISTRATION NUMBER:
122620
DATE: 05/11/2021

SYMMES TOWNSHIP THORNTONS
FINAL DEVELOPMENT PLAN
DRAFTING: PGT
DESIGN: PGT
SCALE: 1" = 20'
DATE: 07/23/2020

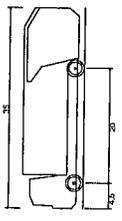
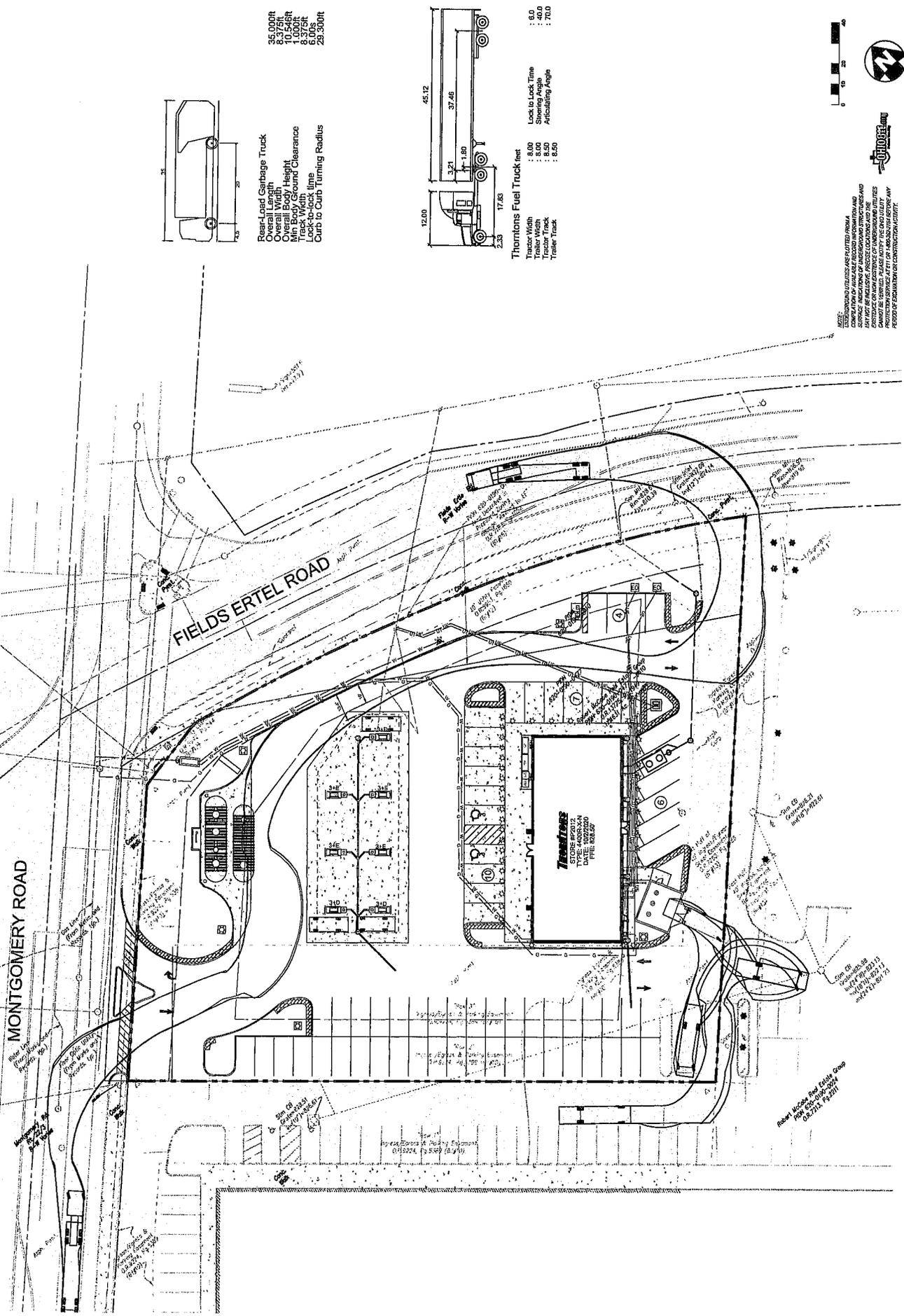
AUTOTURN PLAN
SYMMES TOWNSHIP, OH 45249
FIELDS ERTEL RD. AT MONTGOMERY RD.



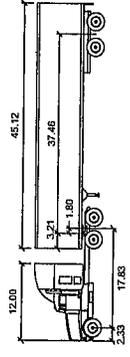
C5.5



NOTE: THE USER OF THIS PLAN IS TO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL UTILITIES AND STRUCTURES AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING UTILITIES AND STRUCTURES AND HAS NOT CONDUCTED ANY FIELD SURVEY OR INVESTIGATION TO VERIFY THE EXISTENCE OR LOCATION OF ANY UTILITIES OR STRUCTURES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



Rear-Load Garbage Truck
Overall Length : 35.00ft
Overall Width : 20.00ft
Overall Height : 10.00ft
Min. Body Ground Clearance : 8.50ft
Track Width : 10.00ft
Curb to Curb Turning Radius : 20.00ft



Thorntons Fuel Truck feet
Tractor Width : 8.00
Trailer Width : 8.00
Tractor Track : 8.50
Trailer Track : 8.50
Lock to Lock Time : 6.0
Steering Angle : 40.0
Articulating Angle : 70.0



NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL:
PATRICK WANNEMAN
REGISTRATION NUMBER:
122020

LANDSCAPE PLAN
FINAL DEVELOPMENT PLAN
SYMME TOWNSHIP THORNTONS
DESIGN: P-DT
DRAWING: P-DT

SYMME TOWNSHIP, OH 45249
SYMME ERTEL RD. AT MONTGOMERY RD.
THORNTONS



L1.0

REQUIRED	PROPOSED
LANDSCAPING FOR VEHICULAR USE AREAS (SECTION 148)	10% OF LANDSCAPING
MINIMUM LANDSCAPING (SEC. 145.2)	22 SF LANDSCAPING REQUIRED PER PARKING SPACE OF SPACES = 1471 SF LANDSCAPING REQUIRED
INTERIOR LANDSCAPING STANDARDS (SEC. 145.3)	PARKING SPACES MUST BE WITHIN 125 FEET OF A LANDSCAPED AREA MINIMUM DIMENSION OF LANDSCAPING AREAS SHALL BE 10 FEET
PLANTING REQUIREMENTS (SEC. 146.4)	1. CANOPY TREE PER 10 SPACES 3 SHRUBS PER CANOPY TREE. 1 TREE MAY BE SUBSTITUTED FOR 3 SHRUBS BY SPACES = 7 TREES AND 21 SHRUBS
STREETSCAPE (SEC. 146.2-7)	A STREETSCAPE BUFFER OF 10' SHALL BE REQUIRED 1.5 CANOPY TREES AND 20 SHRUBS PER 100 LINEAR FEET OF BUFFER REQUIRED 2% LF BUFFER = 8 TREES AND 70 SHRUBS PROVIDED

- PLANTING NOTES:**
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING SURFACE UTILITIES.
 - ALL SHRUB MASSINGS TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, ENDED APPEARANCE.
 - THE CHD UTILITIES PROTECTION SERVICE (COPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DISTURBANCE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UTILITIES AND UTILITIES.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SLOPED.
 - THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY PLUMBED AND PROTECTED BY AN APPROPRIATE TREE GUARD. TREE STANDARDS SHALL CONFORM TO THOSE OF THE AMERICAN ASSOCIATION OF ARBORISTS.
 - ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE NECESSARY, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE TOWNSHIP ENGINEER PRIOR TO EXCAVATION OR CONSTRUCTION ACTIVITY.

LEGEND

PROPERTY LINE

SURFACE ITEMS

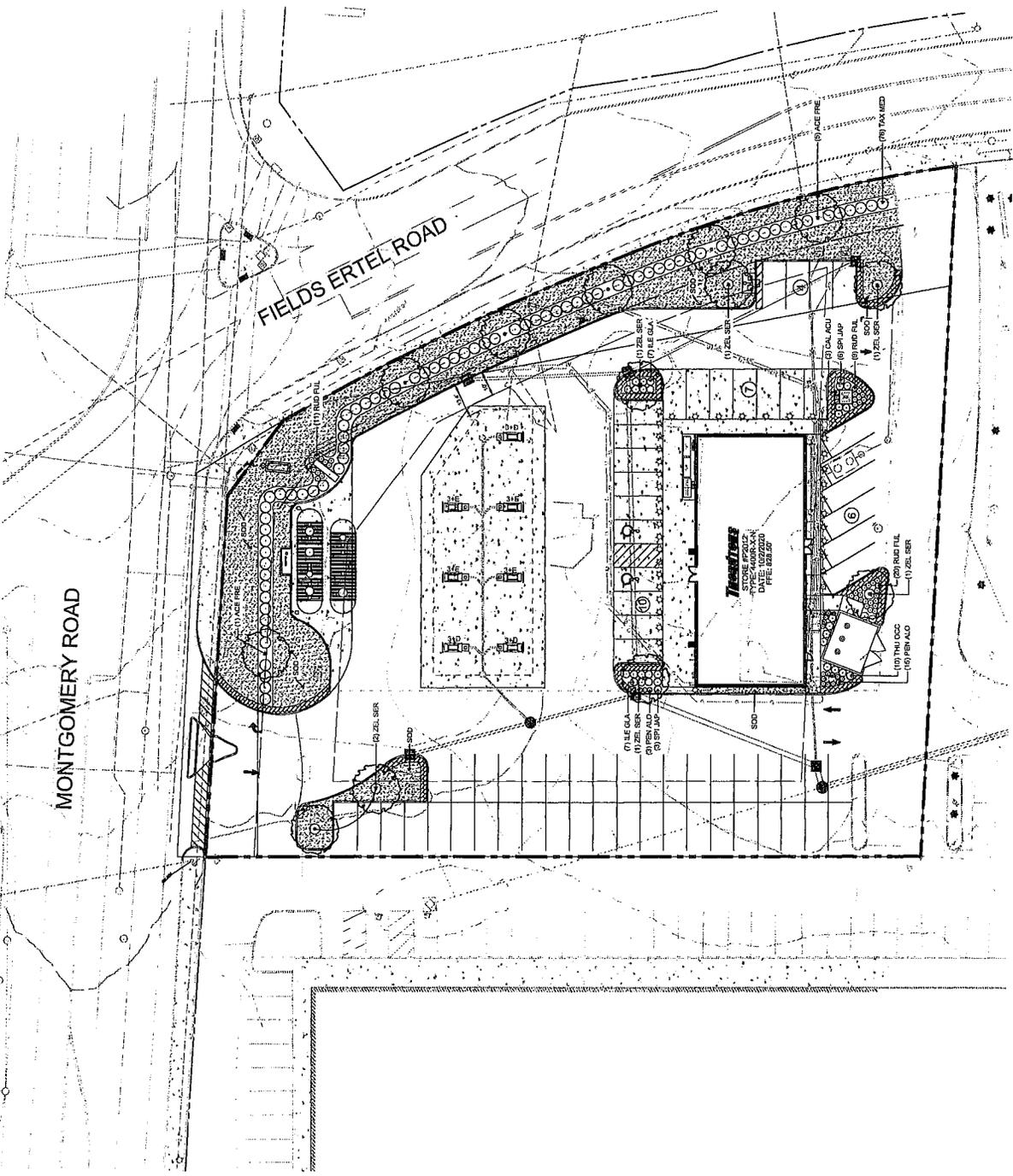
- STANDARD CONCRETE TYP. (SEE CIVIL DRAWINGS)
- TURFGRASS SOD, TYP.

PLANT MATERIAL

- DECIDUOUS TREE, TYP.
- SHRUBS, PERENNIALS, & ORNAMENTAL GRASSES, TYP.

NOTE:

EXISTING UTILITIES ARE EXCLUDED FROM A CONTRACTOR'S RESPONSIBILITY TO PROTECT AND REPAIR. INDICATIONS OF UNDERGROUND STRUCTURES AND SERVICES ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UTILITIES AND UTILITIES.



MONTGOMERY ROAD

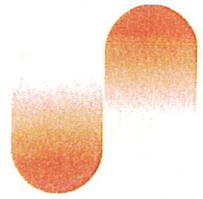
FIELDS ERTEL ROAD

THORNTONS
SYMME TOWNSHIP, OH 45249
SYMME ERTEL RD. AT MONTGOMERY RD.

THORNTONS

SITE ADDRESS:

12516 Montgomery Rd.
Cincinnati, OH 45249



Stratus

stratusunlimited.com
888.503.1569

SIGN CODE:

Sign Code info: Zoned E Retail – Township of Symmes
Building Signage- : Primary frontage allowed 1.5 sf per linear foot of building frontage.
Other sides facing public street allowed .75 sf per linear foot of building frontage.
SF Allowed: Building is 100' long x 1.5 = 150 SF allowed.
Freestanding Signs- : Ground/Monument style signs only. Allowed 1 sign per premises.
Allowed 1 additional sign if more than 500ft on single frontage.
Max 50' SF . Max Height 10'. Set back of 10' from ROW and property lines.
Allowed: 1 Ground sign at 50' SF / 10' tall.
Directional Signs - : Max SF allowed – 4' SF / Max height of 4'. Number allowed- as needed.
Gas Canopy Signs-: Canopy signage code same as building code. Primary frontage allowed 1.5 sf per linear foot of building frontage. Other sides facing public street allowed .75 sf per linear foot of building frontage.

SUMMARY:

Qty (1) 31" letterset @ 46.1 SF- Front of building
Qty (1) 20" letterset @ 17' SF - Rear of building
Qty (1) 31" lettersets @ 28.8' SF each – Canopy
Qty (1) 20' Pylon- 50' SF

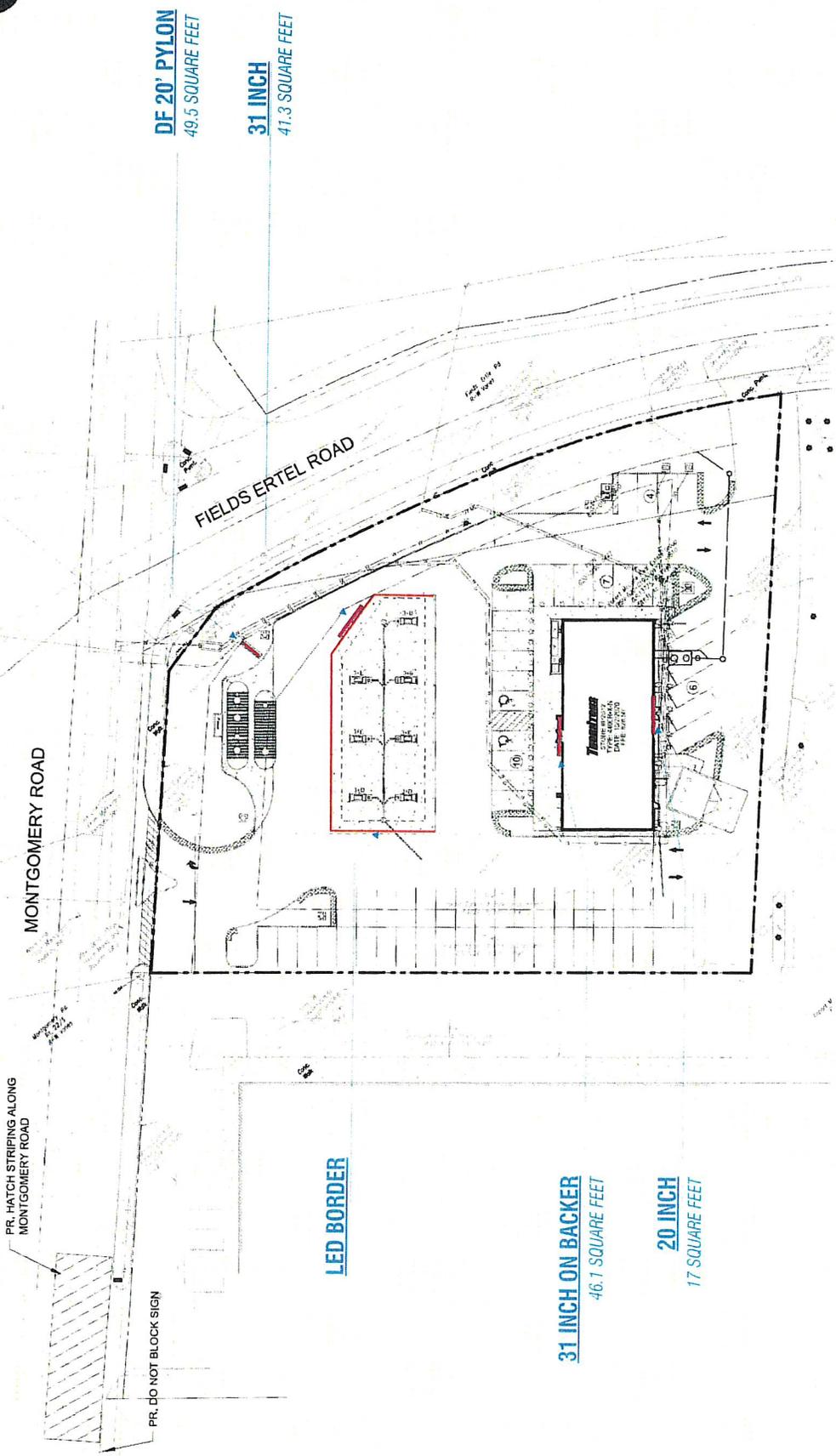
ADDITIONAL NOTES:

Variance Info: Meet 1st Monday of the month. All application and documents to be submitted 1 month in advance. Processing time line approx. 8 weeks. Approval percentage- 50%. Based on hardship. Cost approx. \$700 for application fees.
Variance will be required for pylon sign. Code states you are only allowed a max height of 10' for freestanding signage.



SITE PLAN

REFERENCE ONLY



DF 20' PYLON
49.5 SQUARE FEET

31 INCH
41.3 SQUARE FEET

MONTGOMERY ROAD

FIELDS ERTEL ROAD

LED BORDER

31 INCH ON BACKER
46.1 SQUARE FEET

20 INCH
17 SQUARE FEET

Updated to pylon
Updated signage and site plan

Update site plan
Added signage

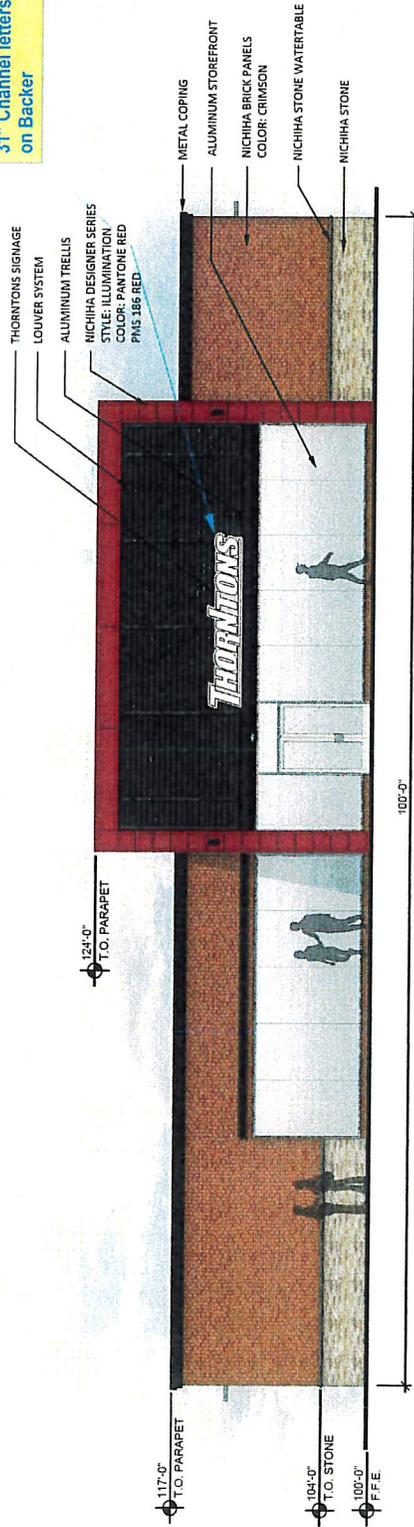
BUILDING ELEVATIONS

TYPICAL ELEVATIONS SHOWN FOR VIEWING PURPOSES.
ACTUAL ELEVATIONS TO BE PROVIDED

Scale: 3/32" = 1'-0"

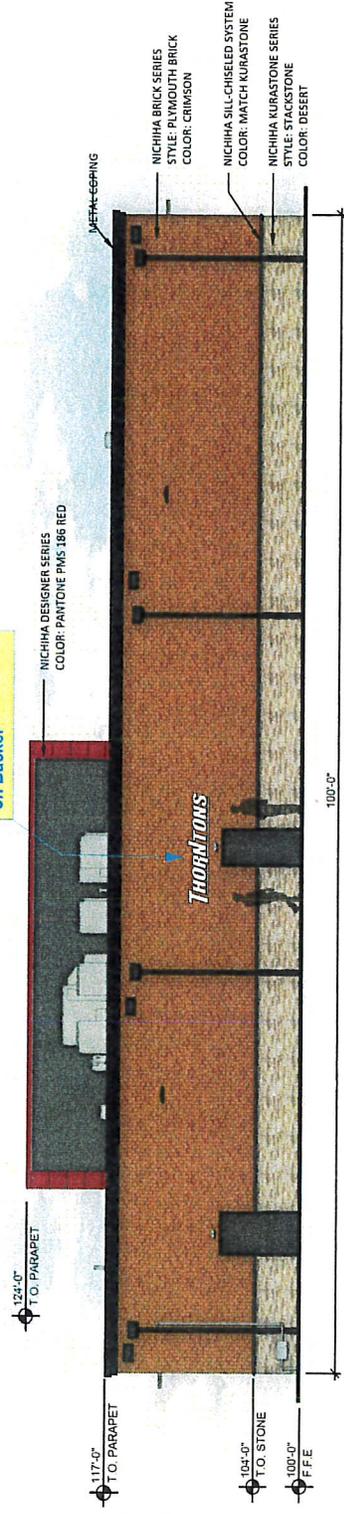
STANDARD 4400 ELEVATIONS

31" Channel letterset on Backer



TYPICAL BUILDING FRONT ELEVATION

20" Channel letterset on Backer



TYPICAL BUILDING REAR ELEVATION

Update elevations
Added signage

LED ILLUM. CHANNEL LETTERS

31 INCH on backer

Scale 1/2" = 1'-0"

-46.1 Square Feet

15'-2" backer

14'-9" copy

THORNTONS

3'-1/2" backer T=31"

N=21-1/2"

12" raceway - behind backer

2" above beam

2-1/2" x 4'-1" rule

2-1/2" x 8'-2-1/2" rule

8" x 2" existing steel tube

COLOR PALETTE

- #7328 White Acrylic
- Raceway: Black
- Metallic Silver MP 33172 Silver Surfer

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

FACES:

3/16" #7328 White acrylic

1" White jewelite

.063 alum. - prefinish White all sides

5" deep .040 alum. returns painted GG White

White GE LED's as required by manufacturer;

Whips to be a minimum of 6'-0" in length;

POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY

.080 perforated alum. screen backer; Holes to be .50" diameter

and are 11/16" on centers to allow for 48% visibility; Backer

painted Metallic Silver front & back; Backer to be mounted behind letters &

will help to conceal raceway

Custom 12" high x 6" deep alum. raceway to house all electrical - Painted

Black - all sides;

Raceway mounted to 1/4" steel plate shelf provided at top edge of steel tube

using stainless steel fasteners as required;

1" alum. flat bar to be used for back bracing as necessary - painted Black

to match raceway

QUANTITY:

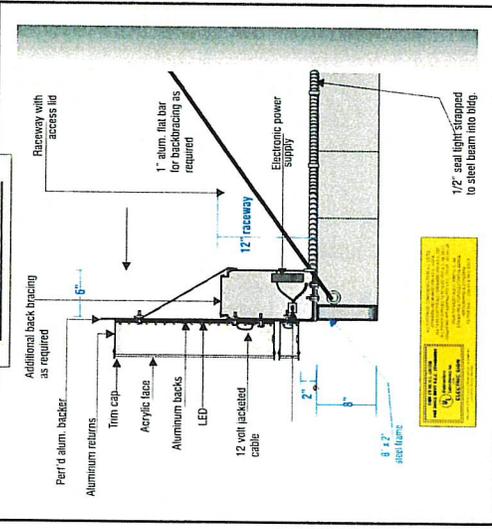
(1) One channel letterset required for storefront elevation

CONSTRUCTION

ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES

NOTES: AS REQUIRED BY NEC

SECTION DETAIL:

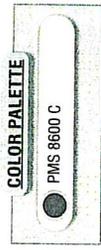
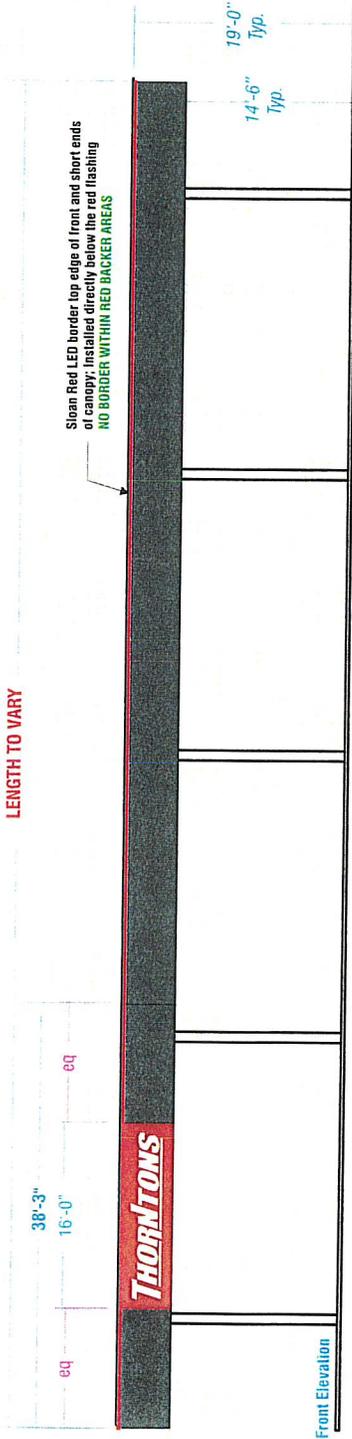


TYPICAL RETAIL CANOPY ELEVATIONS

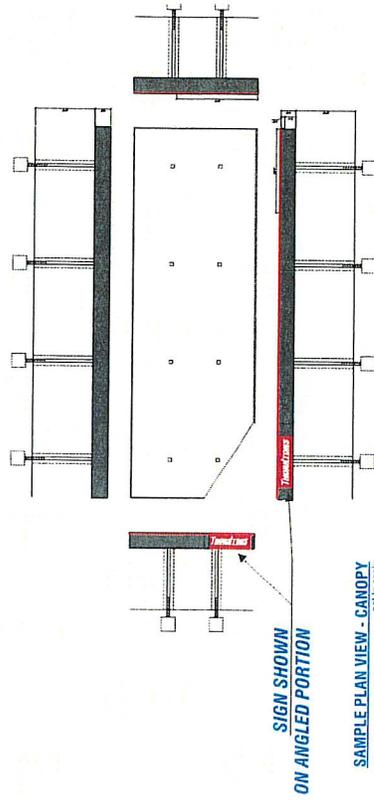
31 INCH

Scale: 3/32" = 1'-0"

TYPICAL CANOPY VIEW -
EXACT MEASUREMENTS OF CANOPY TO BE PROVIDED!



ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



Revised canopy layout and signage

LED ILLUM. CHANNEL LETTERS
31 INCH

Scale: 1/2" = 1'-0"
 41.3 Square Feet

14'-9" copy

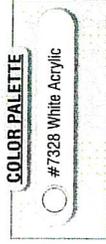
THORNTONS

2'-9-5/8" T=31"

N=21-1/2"

2-1/2" x 4'-1" rule

2-1/2" x 8'-2-1/2" rule



ALL PAINT FINISHES TO BE SATIN UNLESS OTHERWISE SPECIFIED!

FACES: 3/16" #7328 White acrylic

TRIMCAP: 1" White jewelite

LETTER BACKS: .063 alum. - prefinish White all sides

RETURNS: 5" deep .040 alum. returns painted GG White

ILLUM. : White GE LED's as required by manufacturer;
 Whips to be a minimum of 6'-0" in length

POWER SUPPLIES TO BE HOUSED BEHIND CANOPY FASCIA

INSTALL: Channel letters to be flush mounted to canopy fascia using 3/8" all thread fasteners as required

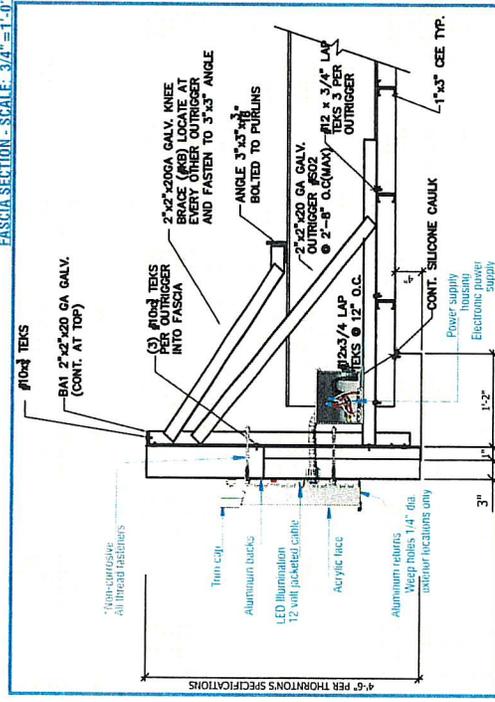
QUANTITY: (1) ONE SET REQUIRED FOR LEFT ANGLED SIDE OF CANOPY

MANUFACTURING Electric feeds need to be in center of letters

NOTE:

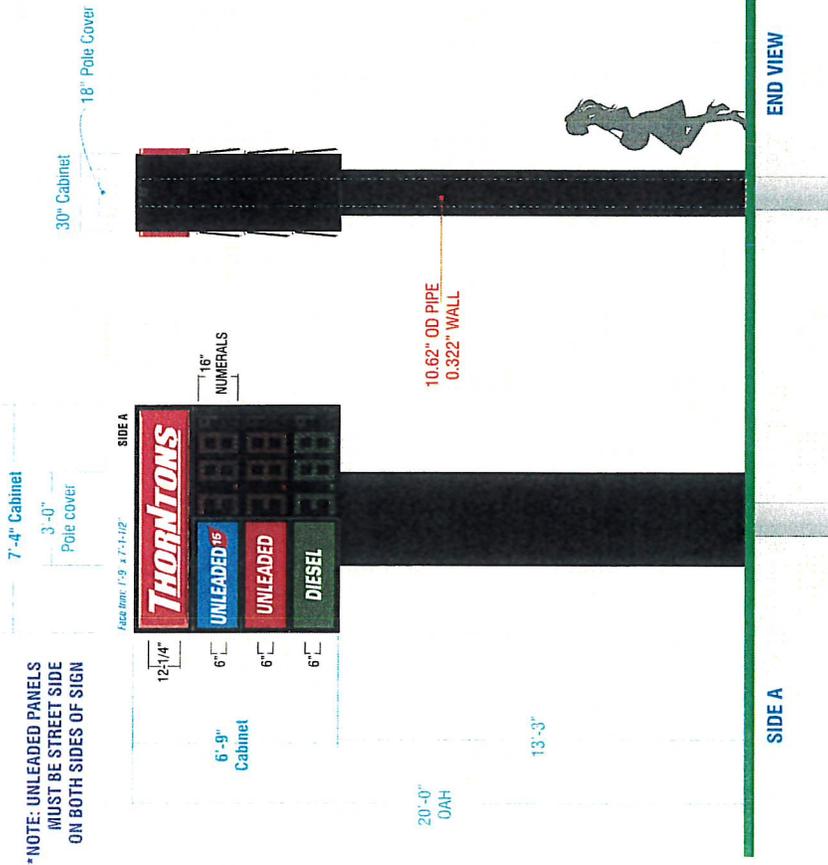
CONSTRUCTION All signage required to have external disconnect switches as required by NEC

FASCIA SECTION - SCALE: 3/4" = 1'-0"



D/F ILLUMINATED PYLON

Scale: 1/4" = 1'-0"
50 Square Feet



CABINET:

30" Deep Fab'd alum. construction with 2" retainers & 2" divider bar all painted Black; Cabinet to sleeve overtop internal support & saddle weld into place as req'd

Sign cabinet provided to Thorntons by Sunshine Electronic Displays

(2) Two gloss panned polycarbonate faces w/ reverse sprayed graphics to match colors shown; *Provided by MC Group*

Internal White Sunshine LED lightstrips;

Power supplies to be housed within cabinet

Sunshine double pricer unit - 30" deep

Character height = 28"; Red & Green LED digit colors;

Commodity panels are flat white polycarbonate panels w/ reverse weeded copy to match colors shown

SUPPORT:

Internal Support Pole - sizes as shown *See engineer drawings for details*
Direct burial installation as required by city requirements & engineering specs

POLE COVER:

Min. .063 lb'd alum. Pole cover; All sides painted black

Baffles welded to top and bottom of internal support pole;

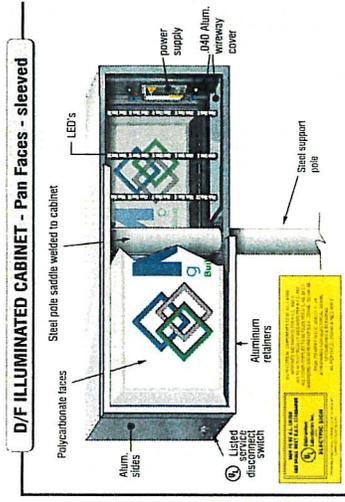
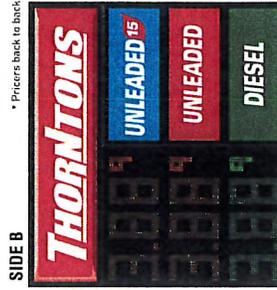
Using angle iron brackets welded to pole;

Additional details found on following page

Pole cover to be seamed as required due to height being over 20'-0"

COLOR PALETTE	
	Graphic 585 Red
	UNLEADED 15 & UNLEADED 3M 3650-93 Red
	DIESEL 3M 3630-76 Holly Green
	UNLEADED 15 3M 3630-97 Bright Blue
	Black

ALL PAINT FINISHES TO BE SATIN UNLESS OTHERWISE SPECIFIED!



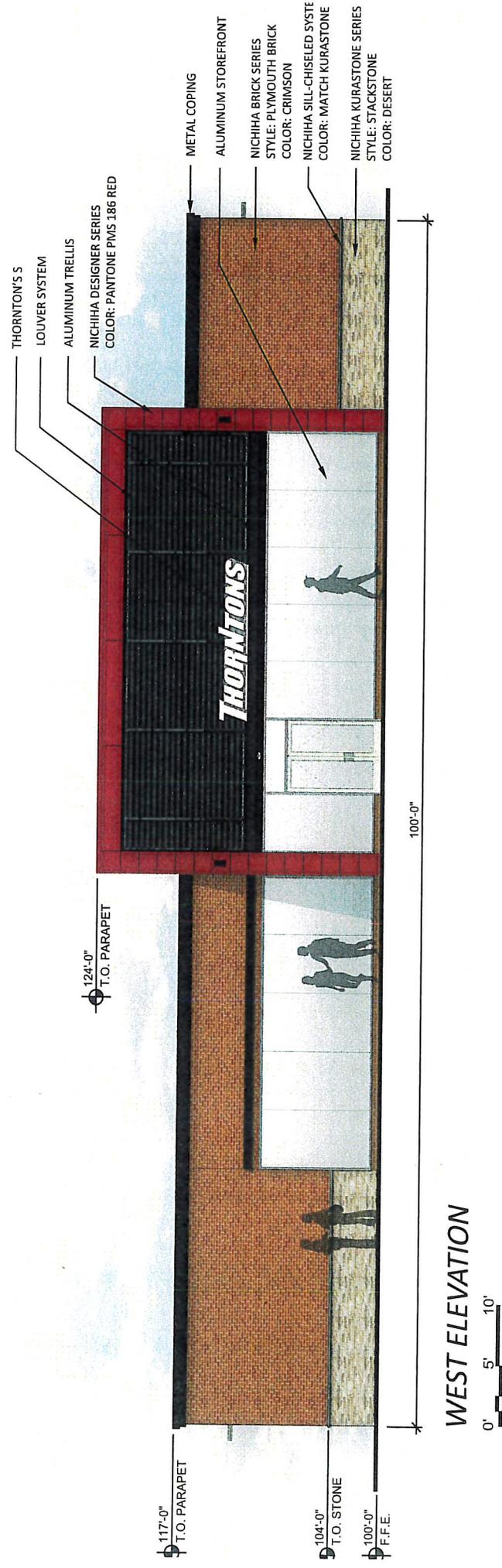
**FOUNDATION & POLE SIZES SUBJECT TO CHANGE
ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!**

SYMMES TOWNSHIP, OH

THORNTONS[®]

4400

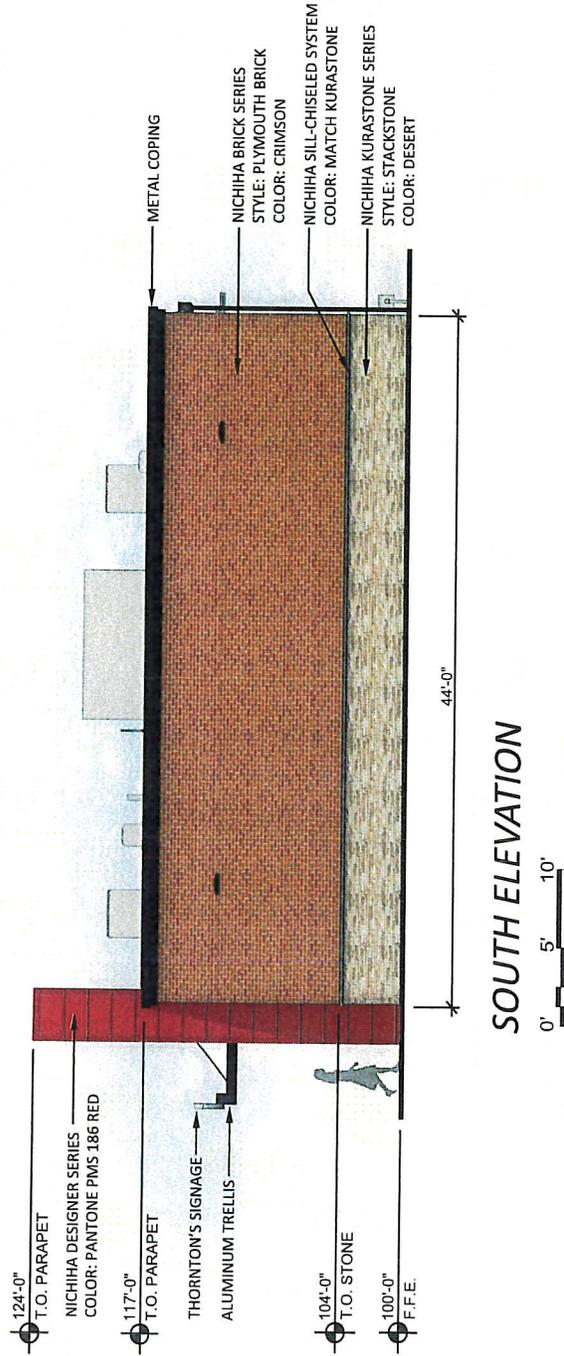
Graphic Presentation

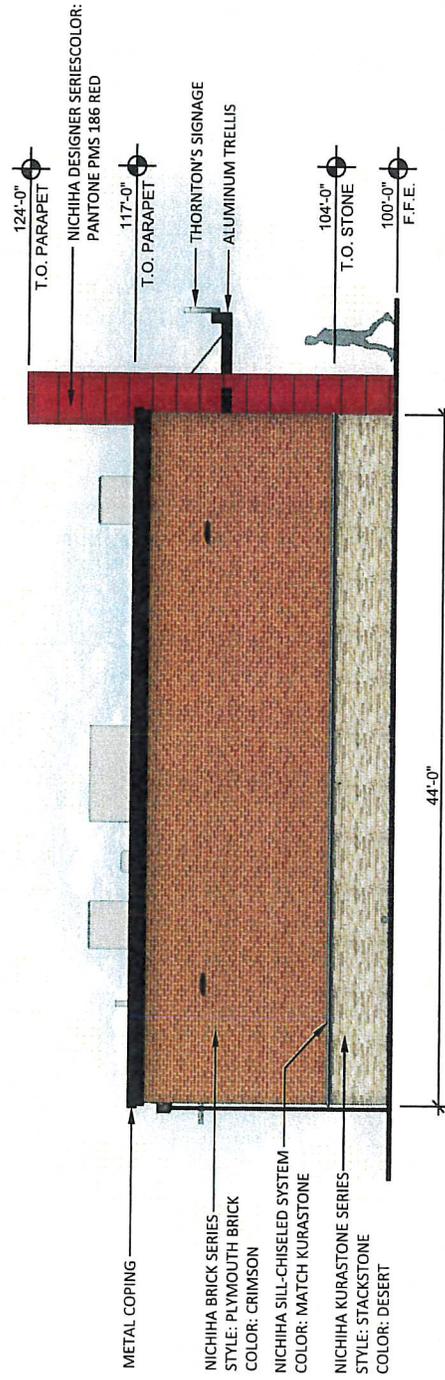




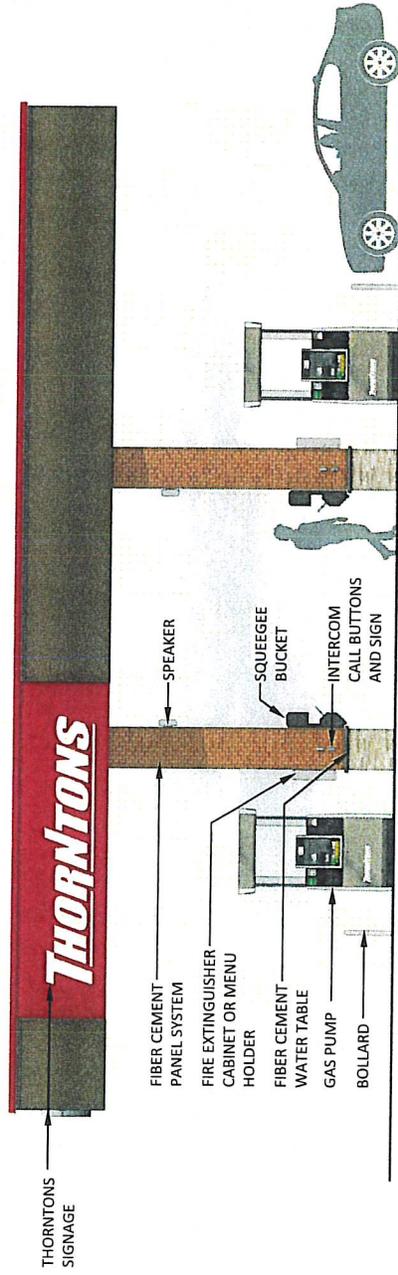
EAST ELEVATION



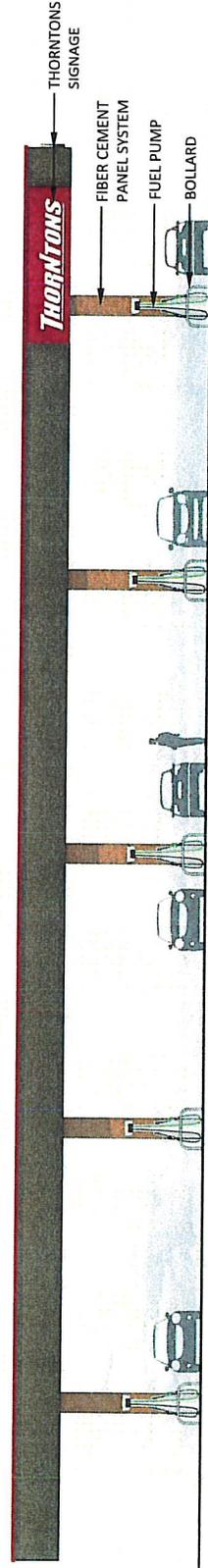




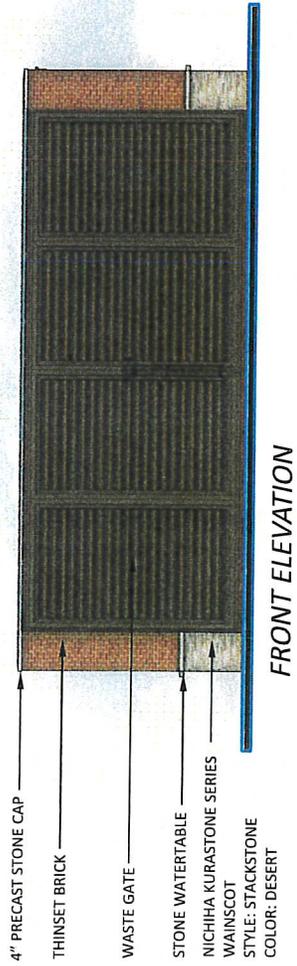
NORTH ELEVATION



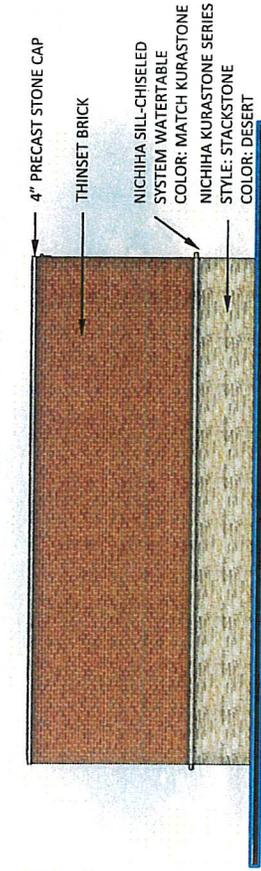
SIDE ELEVATION



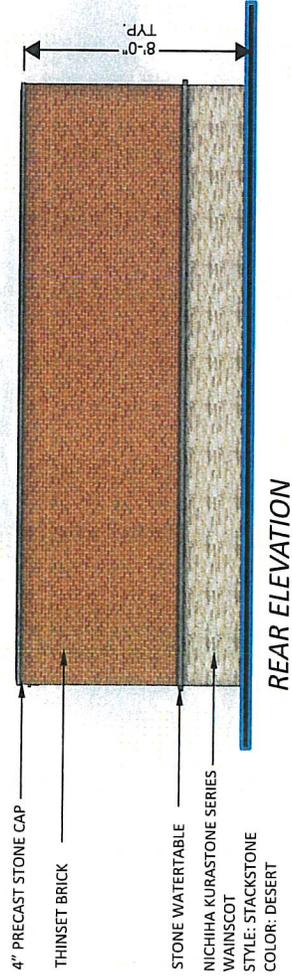
FRONT ELEVATION (Note: # of fueling spaces vary per location, refer to civil site plan)



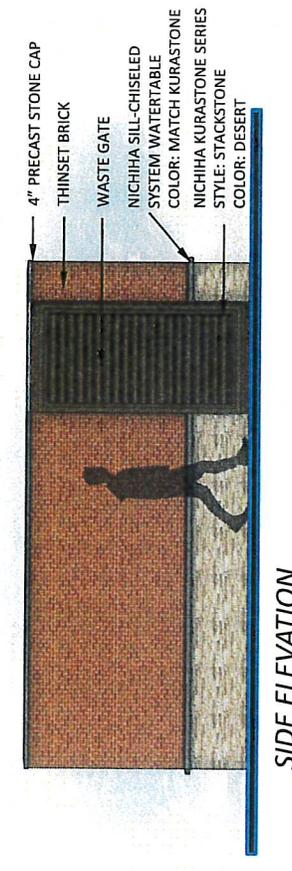
FRONT ELEVATION



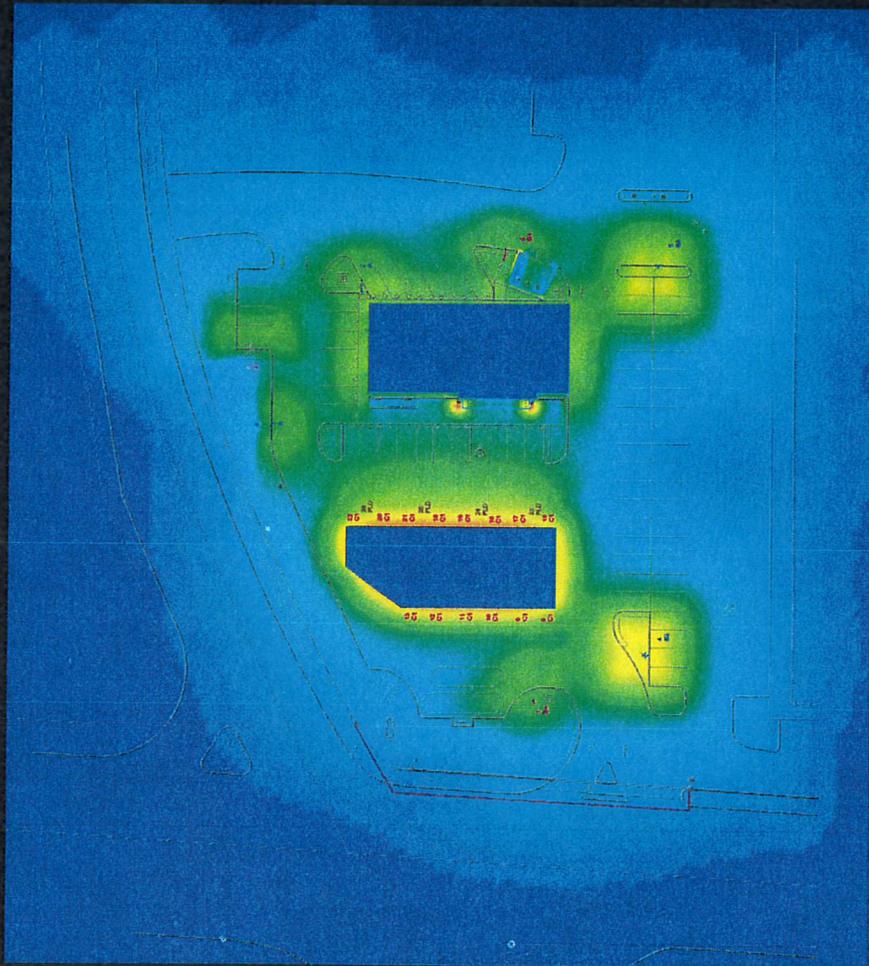
SIDE ELEVATION



REAR ELEVATION



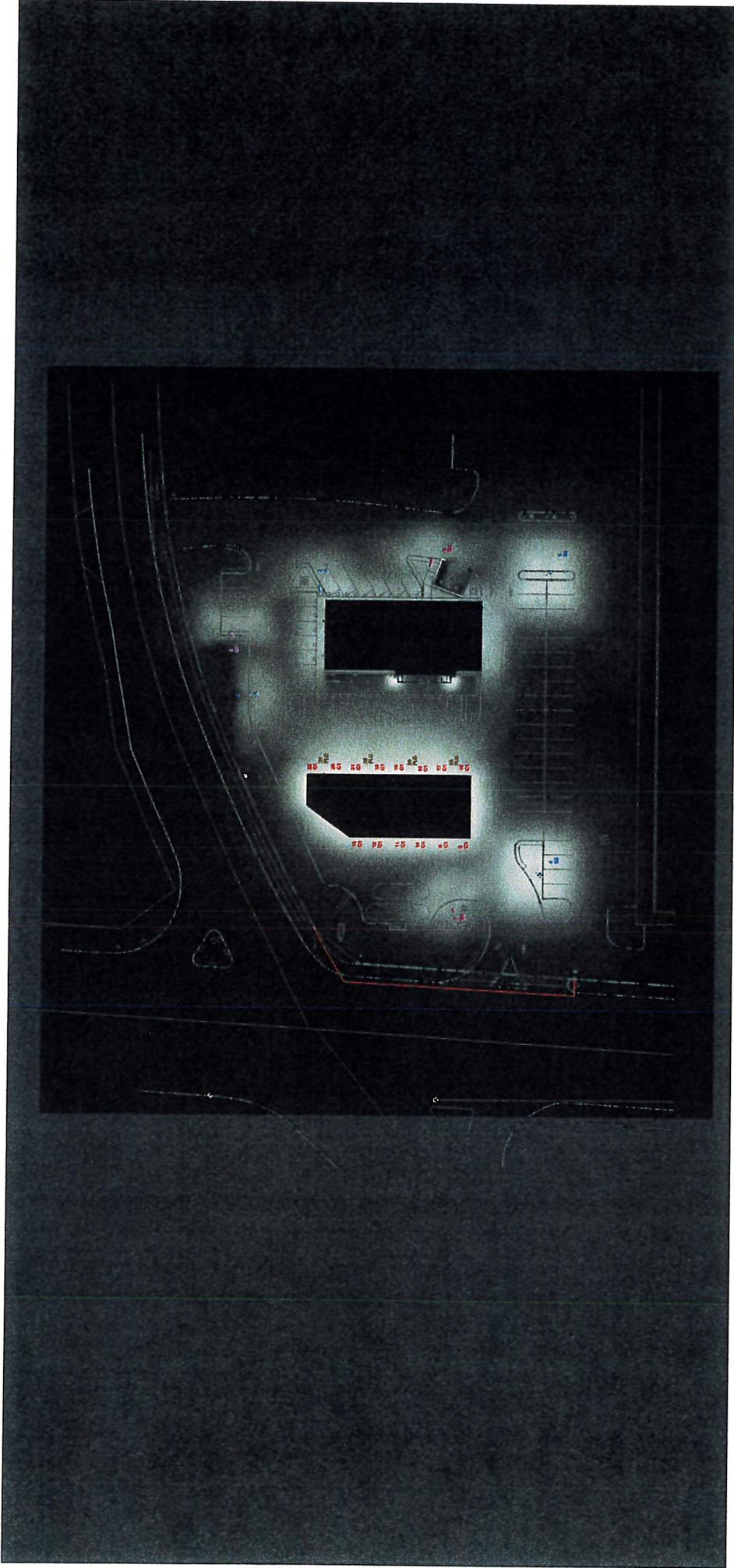
SIDE ELEVATION



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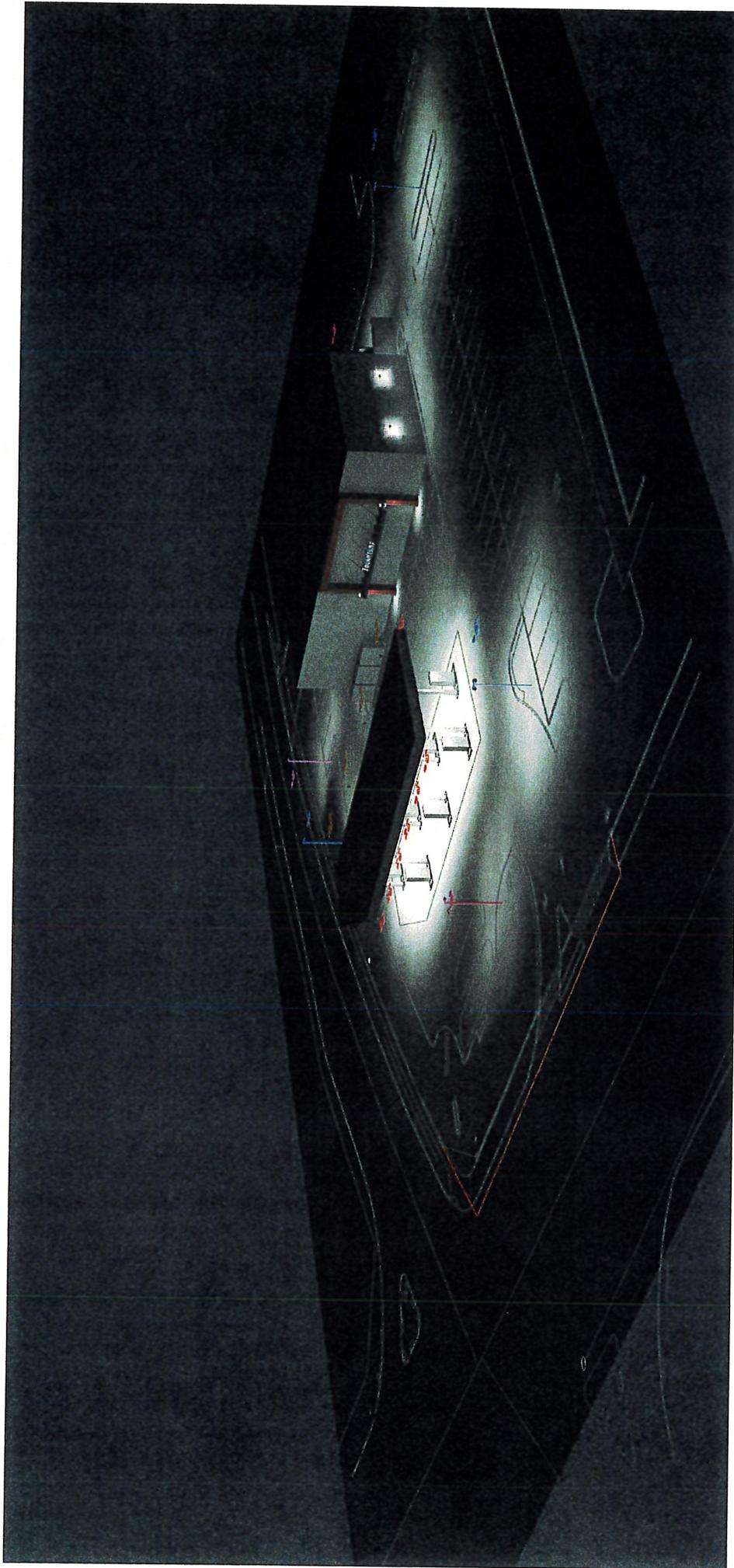
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THORNTONS
 MONTGOMERY RD. & FIELDS ERTL RD
 SYMMES TOWNSHIP, OH
 RL-7025-S1-R1



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