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JUN 12 2023

6/12/23

Hamilton County Planning and Development Department  
138E. Court St. Cincinnati, OH 45202

Letter of Request for Placement on the 7/19/23 Symmes Township Zoning Commission Agenda

To whom it may concern,

The Ackermann Group has purchased 8600 Governors Hill Dr from CVG Partners IV LLC. Our intension is to remodel the property into an apartment building with 201 units. This will require significant investments into the building, including new windows, mechanical systems, and finishes. Additional site improvements will be made to address the over abundance of parking, create a pleasant living environment and amenity package expected in Class-A apartment communities. These improvements are detailed in this Final Development Plan Modification Application.

The CVG Partners has sold the building due to the changes Covid has brought to the workplace. This has resulted in unsustainable levels of office vacancy rates that has hit suburban office complex particularly hard. We believe the plan in front of you addresses the change in market conditions, reuses existing infrastructure to deliver housing units with a lower environmental impact and will create a more dynamic, vibrant community for Symmes Township.

We have previously had a Final Development Plan approved by the Symmes Township Zoning Commission on 10/19/22 with the following conditions and variances.

Conditions:

- 1. Limit the number of apartment units to 205.
- 2. Submit a lighting plan in compliance with zoning resolutions.
- 3. Submit landscaping plan in compliance with zoning resolutions.
- 4. Submit signage plan in compliance with Governor’s Hill signage plan.
- 5. The current building will not be increased in size.

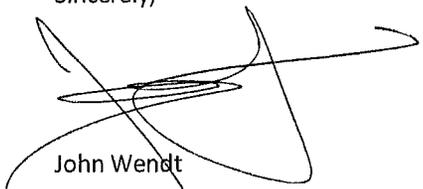
Variances:

- 1. To allow 18.85 units per acre, where 10 units per acre is permitted.
- 2. To allow amenity area to be setback 24 feet from the front property line, where 40 feet is required; and garage structure setback of zero feet from the site property line to the north, where 15 feet is required.

Due to construction costs, we have moved the pool area to the rear of the building, the workout facility has moved within the building and the parking garages have been eliminated. Due to this, we will no longer need the setback variance. All previous conditions are being met. The apartment community will have 201 units and the building will not increase in size.

We look forward to working with all stakeholders to bring this project to completion and as part of that, request placement on the 7/19/23 agenda of the Symmes Township Zoning Commission.

Sincerely,



John Wendt  
Chief Financial Officer  
Ackermann Group

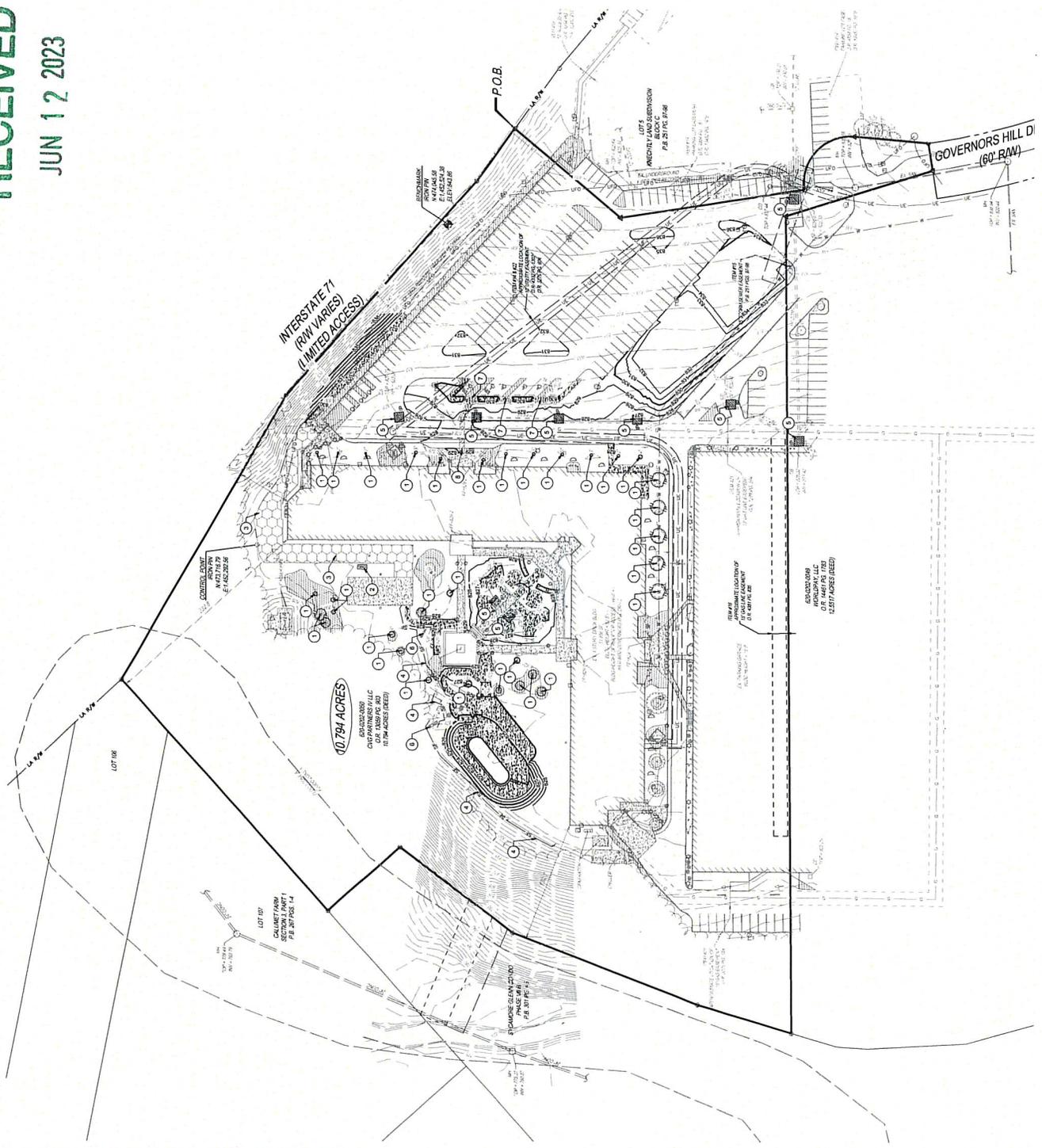
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- GRADING LEGEND**
- 1'0" — EXISTING MAJOR CONTOUR
  - 1'5" — EXISTING MINOR CONTOUR
  - 1'10" — PROPOSED MAJOR CONTOUR
  - 1'15" — PROPOSED MINOR CONTOUR
  - 1'00" — PROPOSED SPOT ELEVATION
  - 1'00" — PROPOSED SWALE
  - 1'00" — 100-YEAR FLOOD ROUTE

- SPOT ELEVATION LEGEND**
- 1'00" — FINISHED GRADE ELEVATION
  - 1'00" — BACK OF CURB ELEVATION
  - 1'00" — EDGE OF CONCRETE ELEVATION
  - 1'00" — EDGE OF PAVEMENT ELEVATION
  - 1'00" — EDGE OF GRAVEL ELEVATION
  - 1'00" — BOTTOM OF STAIR ELEVATION
  - 1'00" — TOP OF STAIR ELEVATION
  - 1'00" — FINISHED GRADE AT WALL BOTTOM
  - 1'00" — FINISHED GRADE AT WALL TOP
  - 1'00" — MANHOLE / CLEANOUT RIM ELEVATION
  - 1'00" — STORM INLET TOP OF CASTING ELEVATION
  - 1'00" — CATCH BASIN GRADE ELEVATION

- PROPOSED EROSION CONTROL LEGEND**
- INLET PROTECTION (200)
  - SALT FENCE (200)
  - TREE PROTECTION (200)
  - CONCRETE WASHOUT (200)
  - CONSTRUCTION ENTRANCE (200)
  - GDOT TYPE C ROCK CHANNEL PROTECTION (200)

- GRADING PLAN NOTES**
- 1 TREE TO BE PROTECTED
  - 2 CONCRETE WASHOUT
  - 3 CONSTRUCTION ENTRANCE
  - 4 SALT FENCE
  - 5 INLET PROTECTION
  - 6 ROCK CHANNEL PROTECTION



**GOVERNOR'S HILL APARTMENTS FINAL DEVELOPMENT PLAN**  
 8900 GOVERNOR'S HILL DRIVE  
 HAMILTON COUNTY, OHIO  
 PROJECT NO. 070002-003  
 DATE 2023-05-23



**OVERALL AND GRADING AND EROSION CONTROL PLAN**  
 SHEET NO. 1 OF 12



**NOTE:**  
 UNDERGROUND UTILITIES ARE PLOTTED FROM SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND UTILITIES. THE LOCATION OF UNDERGROUND UTILITIES CANNOT BE GUARANTEED. ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY

**GRADING LEGEND**

- V — EXISTING MAJOR CONTOUR
- V — EXISTING MINOR CONTOUR
- V — PROPOSED MAJOR CONTOUR
- V — PROPOSED MINOR CONTOUR
- × — PROPOSED SPOT ELEVATION
- — PROPOSED SWALE
- — 100-YEAR FLOOD ROUTE

**SPOT ELEVATION LEGEND**

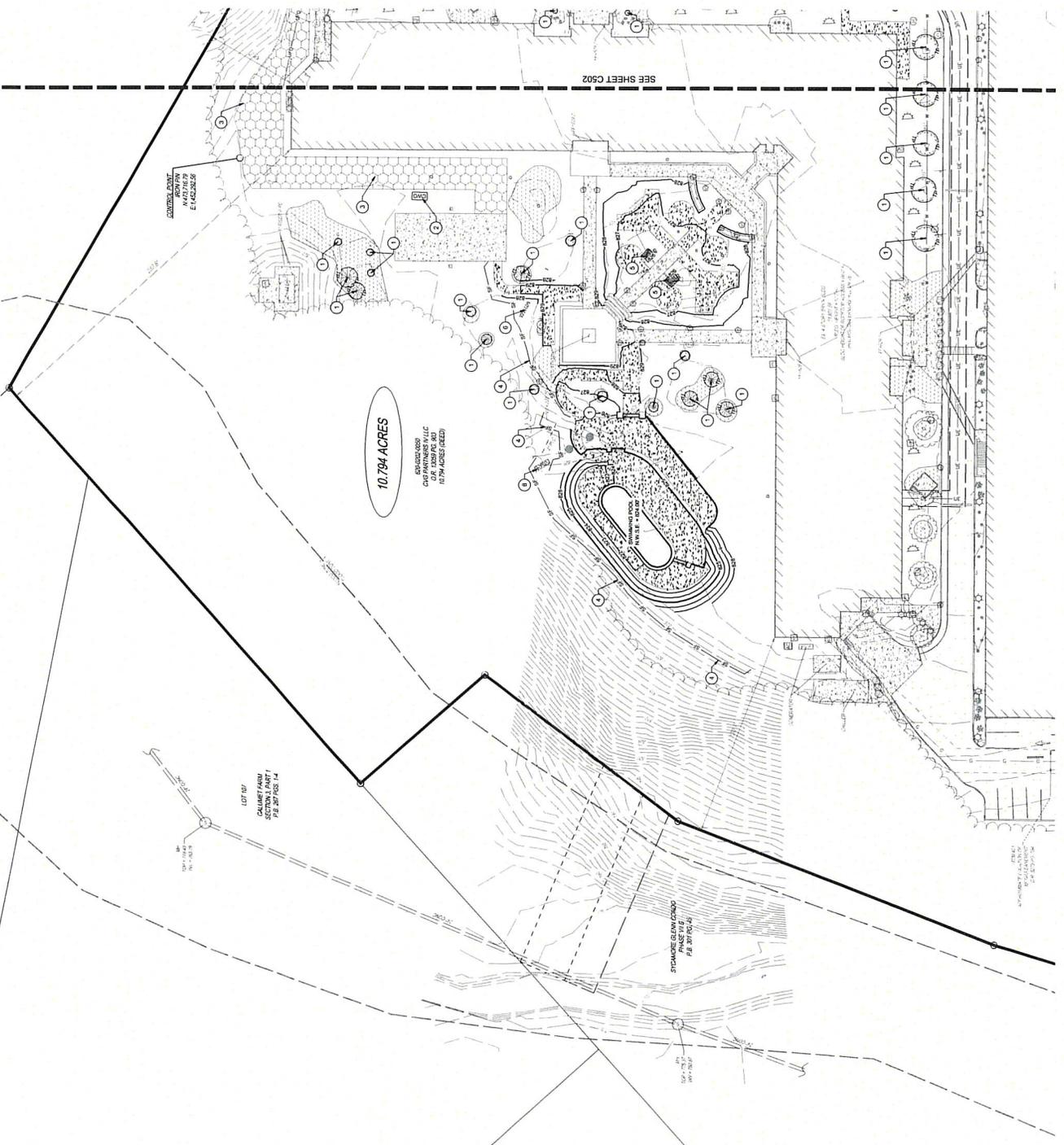
- × — FINISHED GRADE ELEVATION
- × — BACK OF CURB ELEVATION
- × — EDGE OF CONCRETE ELEVATION
- × — EDGE OF PAVEMENT ELEVATION
- × — EDGE OF GRAVEL ELEVATION
- × — BOTTOM OF STAIR ELEVATION
- × — TOP OF STAIR ELEVATION
- × — FINISHED GRADE AT WALL BOTTOM
- × — FINISHED GRADE AT WALL TOP
- × — MANHOLE / CLEANOUT RIM ELEVATION
- × — STORM INLET TOP OF CASTING ELEVATION
- × — CATCH BASIN GRADE ELEVATION

**PROPOSED EROSION CONTROL LEGEND**

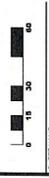
- INLET PROTECTION
- SILT FENCE
- TREE PROTECTION
- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE
- BOOT TYPE CROCK CHANNEL PROTECTION

**GRADING PLAN NOTES**

- 1 TREE TO BE PROTECTED
- 2 CONCRETE WASHOUT
- 3 CONSTRUCTION ENTRANCE
- 4 SILT FENCE
- 5 INLET PROTECTION
- 6 ROCK CHANNEL PROTECTION



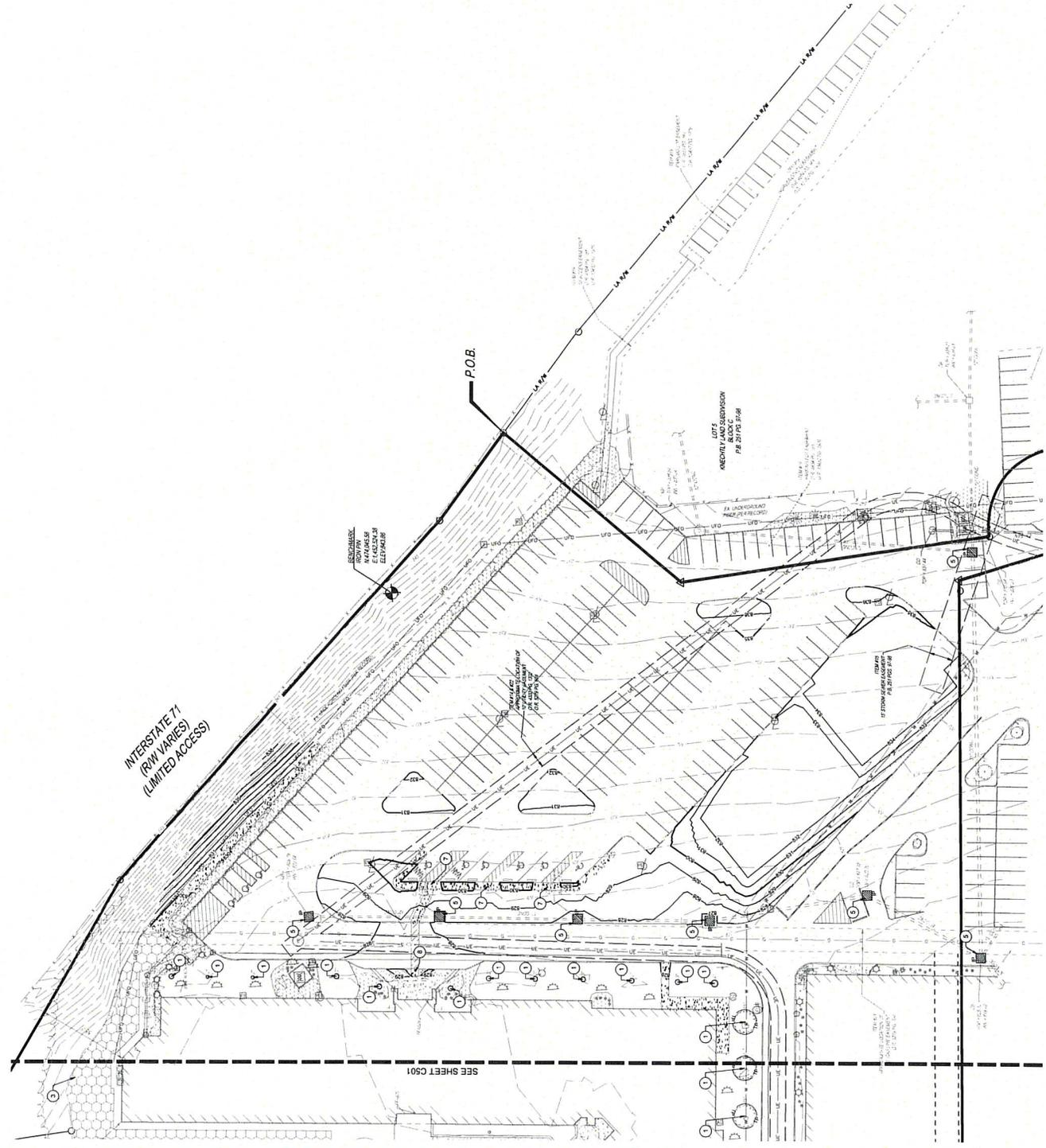
**GOVERNOR'S HILL APARTMENTS FINAL DEVELOPMENT PLAN**  
 8605 GOVERNOR'S HILL DRIVE  
 SYCAMORE TOWNSHIP  
 HAMILTON COUNTY, OHIO  
 PROJECT NO. 0719057.005  
 DATE: 2023-02-23



**SOUTH GRADING AND EROSION CONTROL PLAN**  
 SHEET NO. 2 OF 12



NOTE:  
 UNDERGROUND UTILITIES ARE LOCATED FROM A SURFACE INDICATION OF UNDERGROUND STRUCTURES AND UTILITIES. THE LOCATION OF UTILITIES IS APPROXIMATE AND CANNOT BE GUARANTEED. ANY UTILITIES FOUND DURING CONSTRUCTION SHALL BE PROTECTED AND DELETED FROM THE PLAN. ANY UTILITIES FOUND DURING CONSTRUCTION SHALL BE PROTECTED AND DELETED FROM THE PLAN.



- GRADING LEGEND**
- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - \* SPOT ELEVATION
  - PROPOSED SWALE
  - 100-YEAR FLOOD ROUTE

- SPOT ELEVATION LEGEND**
- \* FINISHED GRADE ELEVATION
  - \* BACK OF CURB ELEVATION
  - \* LOBE OF CONCRETE ELEVATION
  - \* EDGE OF PAVEMENT ELEVATION
  - \* EDGE OF GRAVEL ELEVATION
  - \* BOTTOM OF STAIR ELEVATION
  - \* TOP OF STAIR ELEVATION
  - \* FINISHED GRADE AT WALL BOTTOM
  - \* FINISHED GRADE AT WALL TOP
  - \* MANHOLE / CLEANOUT RIM ELEVATION
  - \* STORM INLET TOP OF CASTING ELEVATION
  - \* CATCH BASIN GRATE ELEVATION

- PROPOSED EROSION CONTROL LEGEND**
- INLET PROTECTION
  - SILT FENCE
  - TREE PROTECTION
  - CONCRETE WASHOUT
  - CONSTRUCTION ENTRANCE
  - ROCK CHANNEL PROTECTION

- GRADING PLAN NOTES**
- 1 TREE TO BE PROTECTED
  - 2 CONCRETE WASHOUT
  - 3 CONSTRUCTION ENTRANCE
  - 4 SILT FENCE
  - 5 INLET PROTECTION
  - 6 ROCK CHANNEL PROTECTION
  - 7 DOUBLE SIDED PARALLEL ADA RAMP
  - 8 PERPENDICULAR WITH FLARED SIDES ADA RAMP



**GOVERNOR'S HILL APARTMENTS FINAL DEVELOPMENT PLAN**  
 8600 GOVERNOR'S HILL DRIVE  
 HAMILTON COUNTY, OHIO  
 PROJECT NO. 070687.005  
 DATE 2023.09.23



**NORTH GRADING AND EROSION CONTROL PLAN**

**3 OF 12**

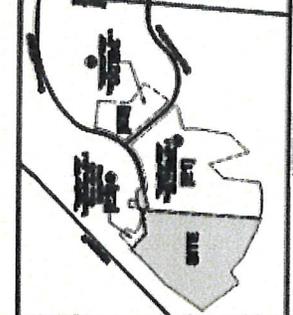


NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A SURFACE INDICATION OF UNDERGROUND STRUCTURES AND SURFACE INDICATIONS OF UNDERGROUND UTILITIES. SURFACE INDICATIONS OF UNDERGROUND UTILITIES CANNOT BE GUARANTEED. THE USER OF THIS PLAN CANNOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

**ZONING INFORMATION**  
 [Redacted text]

**LAND AREA**  
 [Redacted text]

**LIST OF POSSIBLE ENHANCEMENTS**  
 [Redacted text]



**GENERAL SURVEY NOTES**  
 [Redacted text]

**Parking Analysis**  
 Front Lot Capacity - 175 Parking Spaces  
 Garage Total Capacity - 745 Parking Spaces  
 High Garage Capacity - 372 Parking Spaces  
 Front Lot and Half Garage Capacity - 547 Parking Spaces  
 Unit Count - 201 Units  
 Parking Spaces per Unit - 2.72 Spaces/Unit

**Zoning Requirements**  
 Parking Spaces per Unit - 1.5 Spaces/Unit  
 Unit Count - 201 Units  
 Required Parking Spaces - 302 Spaces

- INDEX**
- 1 - OVERALL
  - 2 - BUILDING PLANTING
  - 3 - AMENITY A PLANTING
  - 4 - PARKING PLANTING
  - 5 - TREE PRESERVATION/REMOVAL
  - 6 - SPECIFICATIONS









EX. WOODS TO  
REMAIN UNDISTURBED

TREE DEMO - SCALE 1" = 20'

**KEY**

-  TREE TO BE PRESERVED
-  TREE TO BE REMOVED





SITE PHOTOMETRIC PLAN  
SCALE: N.T.S.



AC Electrical Systems, Inc.  
 9843 HARRISON AVE  
 HARRISON, OH 45030  
 PHONE: 513-202-9209

Original Date: 6/1/23

REVISIONS

Date:

Date:

DATE:

SITE  
 PHOTOMETRIC  
 SCHEDULE &  
 CALCULATION

EL2

SHEET NO.

11 OF 12

LUMINAIRE LIST

Qty	Power	Luminous efficacy
844,936 lm	727.5 W	119.2 lm/W

pkc	Manufacturer	Article No.	Article name	P	Q	Luminous efficacy
27	Not yet a member DALIA	Surface-mounted Luminaire PSS-WT		46.3 W	4399 lm	86.8 lm/W
12	Not yet a member DALIA	REHALED-48L-SL-700-700-700-700		401.9 W	47860 lm	117.4 lm/W
11	Not yet a member DALIA	REHALED-50W-40-700		63.0 W	9119 lm	144.7 lm/W
2	Not yet a member DALIA	REHALED-18L-SL-3-40-700		135.5 W	16418 lm	136.4 lm/W
15	Not yet a member DALIA	XVSLD-0L-FTW-40-00CH		15.0 W	2148 lm	143.2 lm/W

TYPE	AREA	WYS	LOCATION	DESCRIPTION
A	FRONT OF	OFFICE	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	
B	REARING COURTS	OFFICE	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	
C	REAR COURTYARD	LA UNIFORMS	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	
D	REAR COURTYARD	LA UNIFORMS	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	
E	REAR COURTYARD	LA UNIFORMS	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	
F	REAR COURTYARD	LA UNIFORMS	MARKING (2) 24x42 POLE LIGHT - 2 FT. - 20 WATT REHALED	

CALCULATION



Calculation surfaces

Properties	E	E <sub>min</sub>	E <sub>max</sub>	E <sub>foot</sub>	Index
Calculation surface 1	2.66 fc	0.000 fc	45.8 fc		C01
Height of luminaire					
Height of object					

