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Donovan Consulting, LLC  
235 W. Court Street  
Cincinnati, OH 45202

January 8, 2024

Symmes Township Zoning Commission  
9323 Union Cemetery Road  
Symmes Township, Ohio 45140

Dear Members of the Symmes Township Zoning Commission,

I hope this letter finds you well. I am writing on behalf of Donovan Consulting, LLC regarding our development project located at 8790 Governor's Hill Drive. We would like to request the modification of a previously approved Final Development Plan (FDP).

Our team has carefully reviewed the procedures and requirements outlined by the Symmes Township Zoning Commission. We believe that the proposed modifications align with both community interests and zoning regulations.

The purpose of this modification is to modify the Final Development Plan to allow for multi-family in the existing building located at 8790 Governor's Hill Drive.

We kindly request that the proposed modification be included on the agenda for the upcoming Symmes Township Zoning Commission meeting on February 21, 2024. We understand and respect the importance of adhering to established procedures and timelines. Rest assured, we will promptly provide all necessary documentation and information to facilitate a smooth review process.

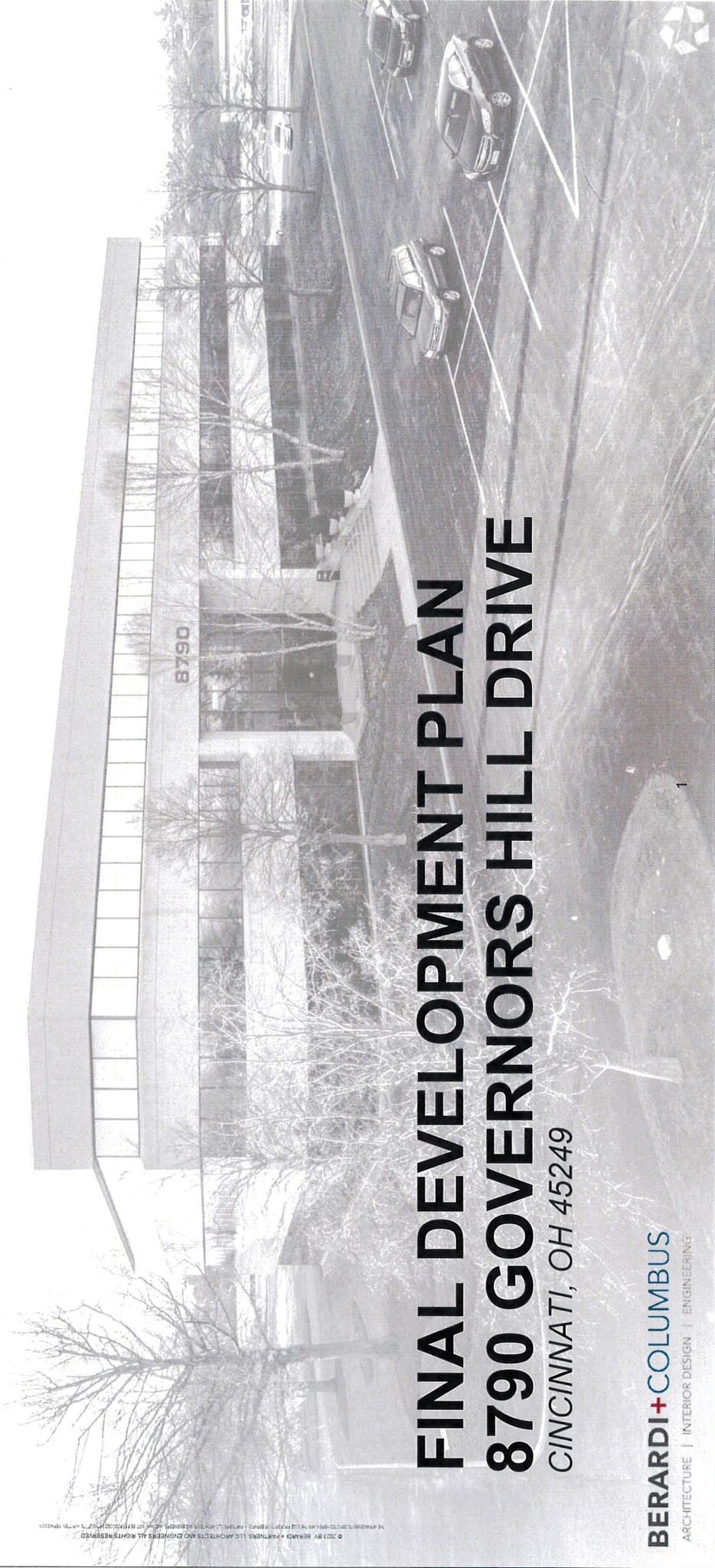
We appreciate your consideration of our request and thank you for your dedication to maintaining the development standards within Symmes Township.

Sincerely,

Sean Donovan  
Donovan Consulting, LLC  
(513) 235-9951

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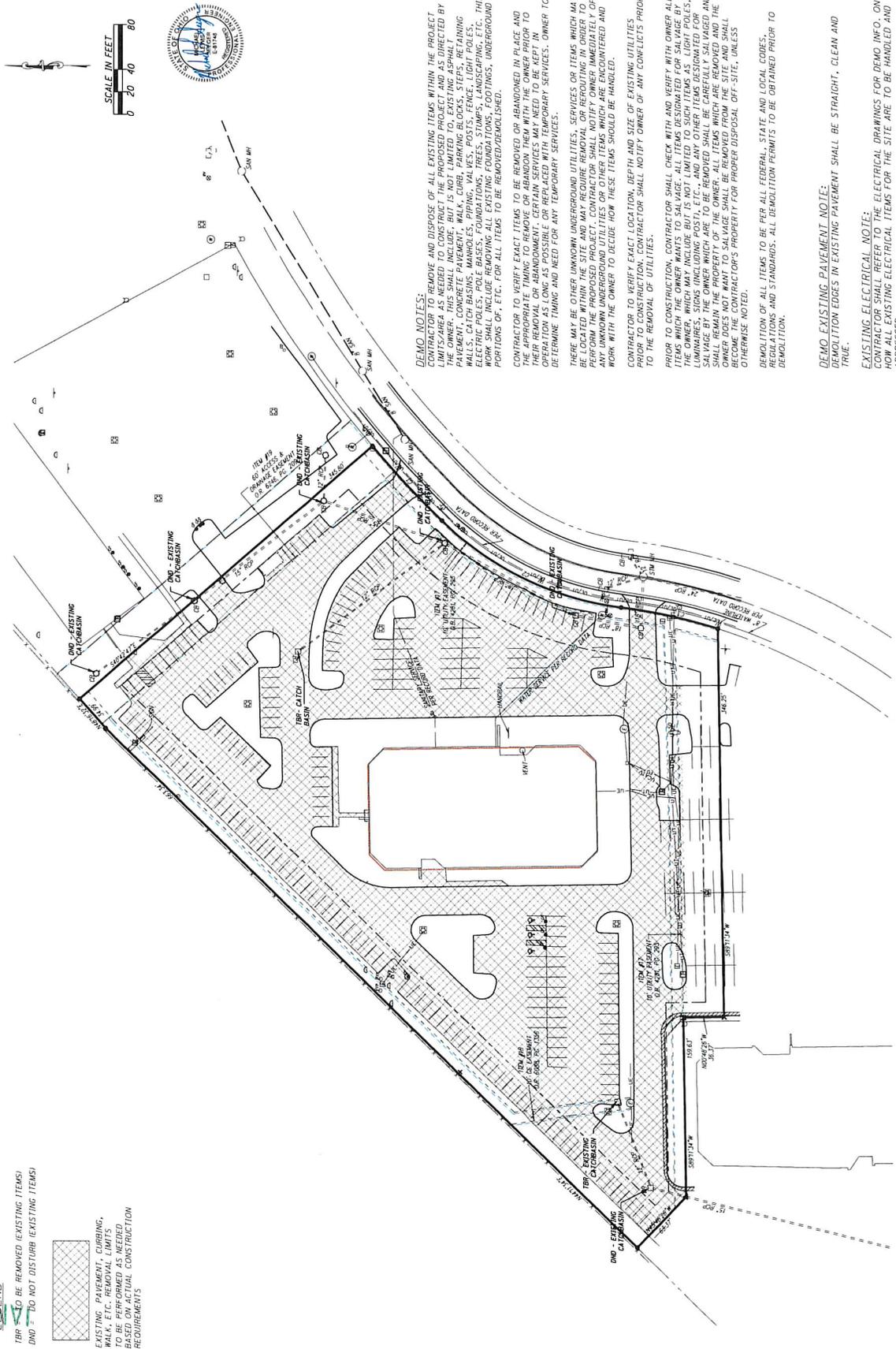
# FINAL DEVELOPMENT PLAN 8790 GOVERNORS HILL DRIVE

CINCINNATI, OH 45249

**BERARDI+COLUMBUS**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING



FILE NAME	DEMOLITION
DRAWN BY	WJS
CHECKED BY	WJS
PROJECT NO.	19-22-2023
DATE	10/26/2023
SHEET NUMBER	C1.0 OF 4



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8/2024

NOTES:  
1. CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.

2. CONTRACTOR TO VERIFY AND LOCATE WHERE STORM, SANITARY, AND WATER LATERALS AND ALL OTHER PROPOSED UTILITY SERVICES TIE INTO THE PROPOSED BUILDING PER BUILDING PLANS. THE SIZES AND TYPES OF ALL LATERALS AND HOW THEY TIE INTO THE PROPOSED BUILDINGS.

3. CONTRACTOR TO FOLLOW ALL AGENCY REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED UTILITIES INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.

CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

DOWNSPROUT PIPING NOTE:  
CONTRACTOR SHALL DETERMINE THE TYPE OF SERVICE FOR ALL DOWNSPROUTS TO BE INSTALLED. ANY DOWNSPROUTS AS SHOWN ON THE SITE PLAN OR TO THE CLOSEST STORM PIPING OR CATCH BASINS USING CPSP/P OR PVC SDR-35 SEWER OR APPROVED EQUAL.

EXISTING UTILITY NOTES:  
1. THAT ALL EXISTING STORM LINES OR ANY OTHER EXISTING CLEAN WATER DRAINAGE LINES THAT ARE DISCOVERED AND/OR ENCOUNTERED DURING CONSTRUCTION AND ARE OR NEED TO REMAIN IN SERVICE ARE TO REMAIN IN SERVICE UNLESS OTHERWISE NOTED OTHERWISE.

2. THAT ALL EXISTING SANITARY LINES THAT ARE DISCOVERED AND/OR ENCOUNTERED DURING CONSTRUCTION AND ARE TO REMAIN IN SERVICE ARE ROUTED AS NEEDED TO ENSURE THAT THEY ARE CONNECTED INTO PROPOSED SANITARY SEWER LINES OR INTO PROPOSED SANITARY SEWER STRUCTURES.

3. THAT ALL EXISTING WATER LINES THAT ARE DISCOVERED AND/OR ENCOUNTERED DURING CONSTRUCTION AND ARE TO REMAIN IN SERVICE ARE ROUTED AS NEEDED TO ENSURE THAT THEY ARE CONNECTED INTO ACTIVE EXISTING WATER LINES OR INTO PROPOSED WATER LINES.

ALL WORK TO BE PER AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND TO BE INCLUDED IN THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

EXISTING APPROXIMATE AND/OR PER PLANS UNDERGROUND UTILITIES LABELED AS APPROXIMATE AND/OR PER PLANS HAVE BEEN OBTAINED FROM THE OWNER. CONTRACTOR SHALL TAKE THIS INTO ACCOUNT FOR ALL WORK AND SHALL FIELD VERIFY AND/OR DETERMINE ALL INFO FOR THESE UTILITIES PRIOR TO CONSTRUCTION.

STORM SEWER UNDER BUILDING NOTE:  
ANY STORM SEWER PIPING OR STRUCTURES THAT ARE TO BE INSTALLED UNDER AN EXISTING OR PROPOSED BUILDING SHALL MEET ALL BUILDING CODE REQUIREMENTS OR EXCEED ALL BUILDING CODE REQUIREMENTS AND SHALL BE INSTALLED PER ALL BUILDING CODE REQUIREMENTS AND/OR STRUCTURES PER AND AS REQUIRED BY ALL BUILDING CODE REQUIREMENTS. SEE PLUMBING PLANS AS APPLICABLE.

LOCATE EXISTING UTILITIES NOTE:  
THIS WORK SHALL BE PERFORMED ON A BASIS AND SHALL CONSIST OF THE CONTRACTOR FIELD VERIFYING THE LOCATION, DEPTH, TYPE, SIZE, AND DEPTH PRIOR TO PERFORMING ANY PROPOSED WORK OR ONCE WORK HAS BEGUN. THIS WORK MAY ALSO REQUIRE THE CONTRACTOR TO INSPECT THE LINES BY OTHER METHODS SUCH AS DYE TESTING OR CAMERA/VIDEO TO FIND THE ORIGIN AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AS NEEDED TO ENSURE EXISTING FACILITY OPERATIONS ARE MAINTAINED.

ALL WORK TO BE PER AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND TO BE INCLUDED IN THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

UNKNOWN EXISTING UNDERGROUND UTILITIES:  
CONTRACTOR TO BE AWARE THERE MAY BE OTHER UNKNOWN SERVICES OR UNKNOWN UNDERGROUND UTILITIES OR ITEMS WHICH MAY BE LOCATED WITHIN THE SITE AND MAY REQUIRE REMOVAL OR REROUTING IN ORDER TO PERFORM THE PROPOSED PROJECT. CONTRACTOR SHALL FIELD VERIFY AND/OR DETERMINE ALL INFO FOR THESE UTILITIES OR OTHER ITEMS WHICH ARE ENCOUNTERED AND WORK WITH THE OWNER TO DECIDE HOW THESE ITEMS SHOULD BE HANDLED.

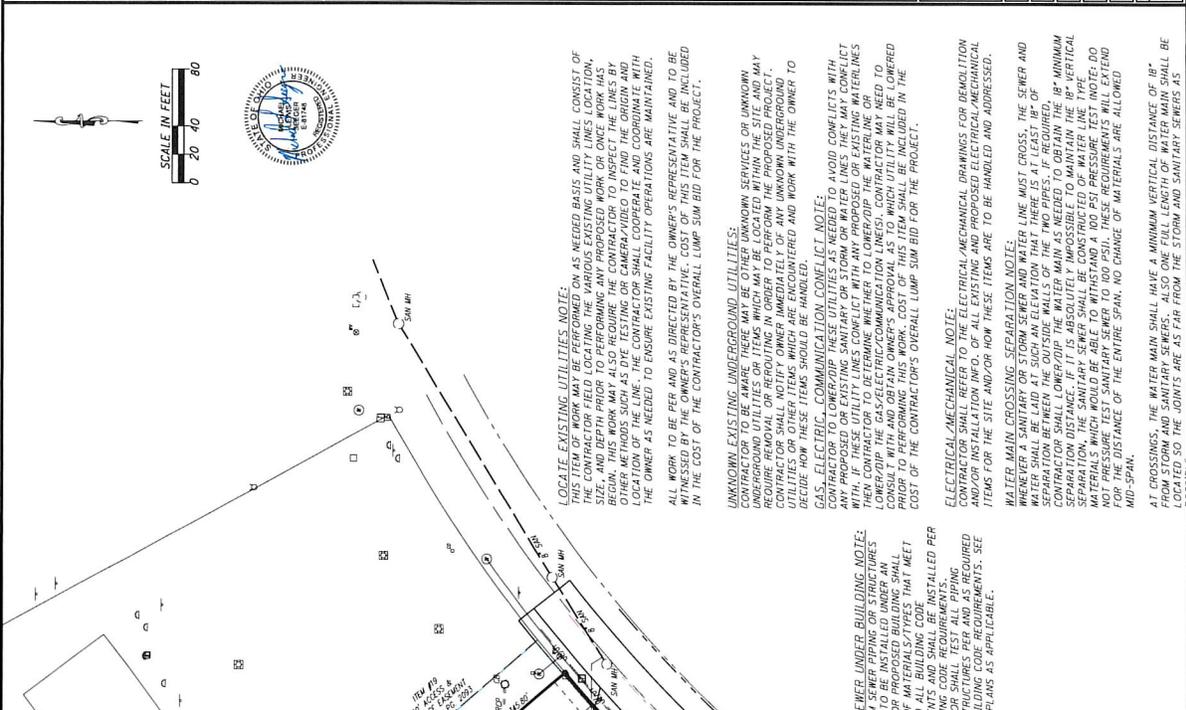
GAS, ELECTRICAL, COMMUNICATION CONFLICT NOTES:  
CONTRACTOR TO LOWER/DIP THESE UTILITIES AS NEEDED TO AVOID CONFLICTS WITH ANY PROPOSED WATER LINES OR STRUCTURES. IF THESE UTILITIES CONFLICT WITH ANY PROPOSED OR EXISTING WATER LINES THEN CONTRACTOR TO DETERMINE WHETHER TO LOWER/DIP THE WATERLINE OR LOWER/DIP THE GAS/ELECTRICAL/COMMUNICATION LINES. CONTRACTOR MAY NEED TO PRIOR TO PERFORMING THIS WORK. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

ELECTRICAL/MECHANICAL NOTES:  
CONTRACTOR SHALL REFER TO THE ELECTRICAL/MECHANICAL DRAWINGS FOR REVOLUTION AND/OR INSTALLATION INFO. OF ALL EXISTING AND PROPOSED ELECTRICAL/MECHANICAL ITEMS FOR THE SITE AND/OR HOW THESE ITEMS ARE TO BE HANDLED AND ADDRESSED.

WATER MAIN CROSSING SEPARATION NOTES:  
WHENEVER A SANITARY OR STORM SEWER AND WATER LINE MUST CROSS, THE SEWER AND WATER MAIN SHALL BE SEPARATED BY A MINIMUM OF 18" MINIMUM SEPARATION BETWEEN THE OUTSIDE WALLS OF THE TWO PIPES, IF REQUIRED.

CONTRACTOR SHALL LOWER/DIP THE WATER MAIN AS NEEDED TO OBTAIN THE 18" MINIMUM SEPARATION DISTANCE. IT IS ABSOLUTELY IMPOSSIBLE TO MAINTAIN THE 18" VERTICAL SEPARATION DISTANCE IF THE WATER MAIN IS NOT ABLE TO WITHSTAND A 100 PSI PRESSURE TEST. MATERIALS WHICH WOULD BE ABLE TO WITHSTAND A 100 PSI PRESSURE TEST (NOTE: DO NOT PRESSURE TEST SANITARY SEWER TO 100 PSI). THESE REQUIREMENTS WILL EXTEND FOR THE ENTIRE SPAN. NO CHANGE OF MATERIALS ARE ALLOWED MID-SPAN.

AT CROSSINGS, THE WATER MAIN SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 18" FROM STORM AND SANITARY SEWERS. ALSO ONE FOOT FROM SANITARY WATER MAINS SHALL BE MAINTAINED. THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.





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FINAL DEVELOPMENT PLAN  
8790 GOVERNOR'S HILL  
DRIVE

LANDSCAPE PLAN

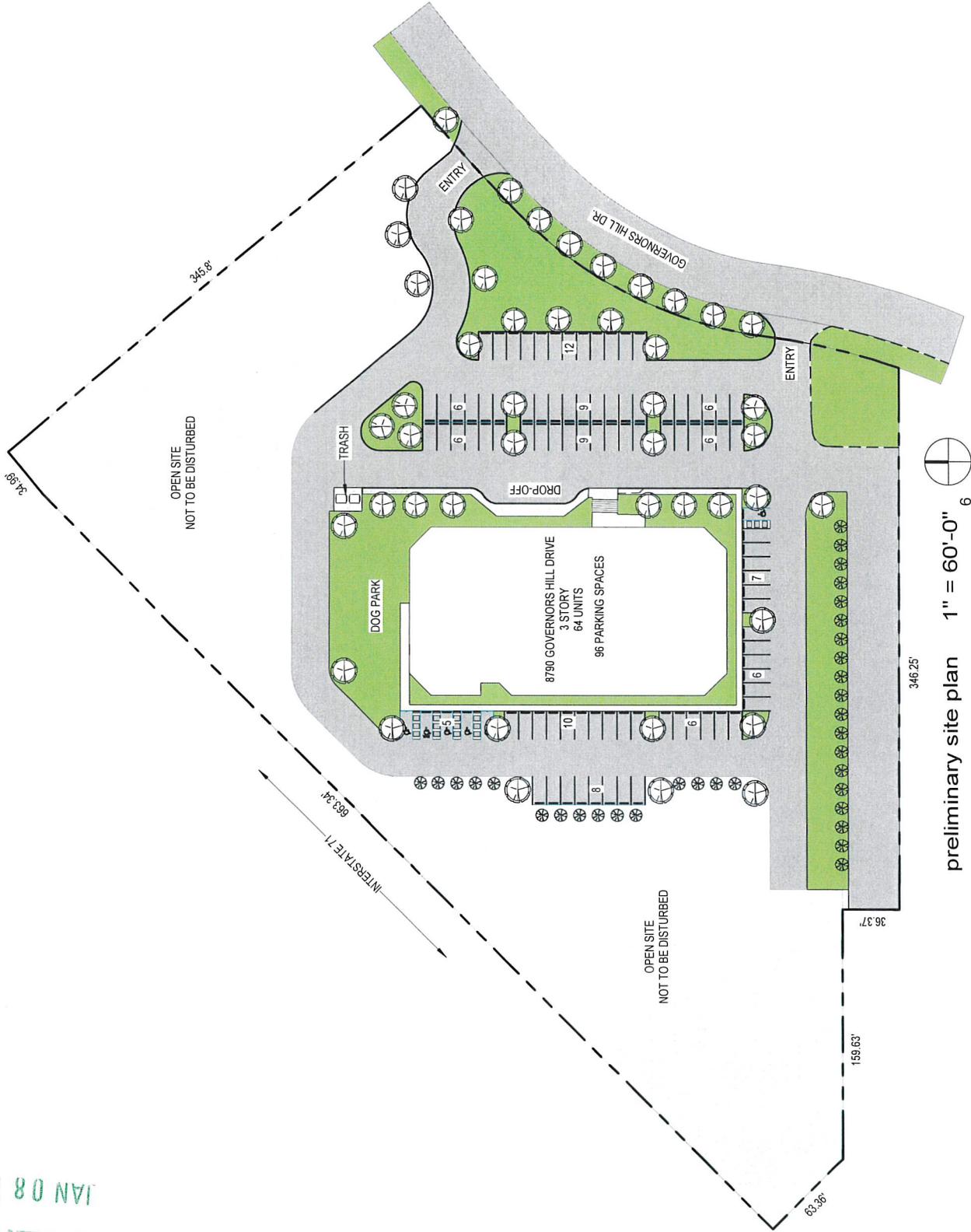
PROJECT  
STATUS

DATE: 06.01.2023  
PROJECT #: [blank]  
Project Number

PRELIMINARY  
SITE PLAN

SD-100

BERARDI+  
ARCHITECTS  
1000 W. 10TH AVE. SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100 FAX: 303.733.1101  
www.berardi.com



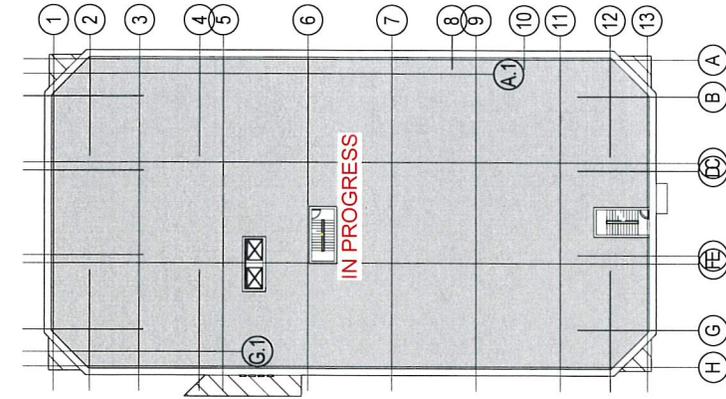
preliminary site plan 1" = 60'-0" 6

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FINAL DEVELOPMENT PLAN  
8790 GOVERNORS HILL  
DRIVE

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EXTERIOR GROSS AREA	
Level	Area
EGA 1ST FLOOR	
1ST FLOOR	20,370 SF
EGA 2ND FLOOR	
2ND FLOOR	20,370 SF
EGA 3RD FLOOR	
3RD FLOOR	20,626 SF
TOTAL	61,365 SF

UNIT DISTRIBUTION		
Name	Area	#
1ST FLOOR		
1-BR	12,008 SF	16
2-BR	3,421 SF	4
TOTAL	15,428 SF	20
2ND FLOOR		
1-BR	12,578 SF	17
2-BR	4,369 SF	5
TOTAL	16,947 SF	22
3RD FLOOR		
1-BR	12,670 SF	17
2-BR	4,370 SF	5
TOTAL	17,040 SF	22
TOTAL	49,416 SF	64

UNIT MATRIX	
Name	#
1-BR	50
2-BR	14
TOTAL UNIT COUNT	64



SCHEMATIC

DATE: 10/26/2023  
PROJECT #: 2176

SITE PLAN

SD-100

BERARDI+  
ARCHITECTS  
1111 BERARDI DRIVE  
CHICAGO, IL 60607  
TEL: 312.467.1111  
WWW.BERARDI.COM

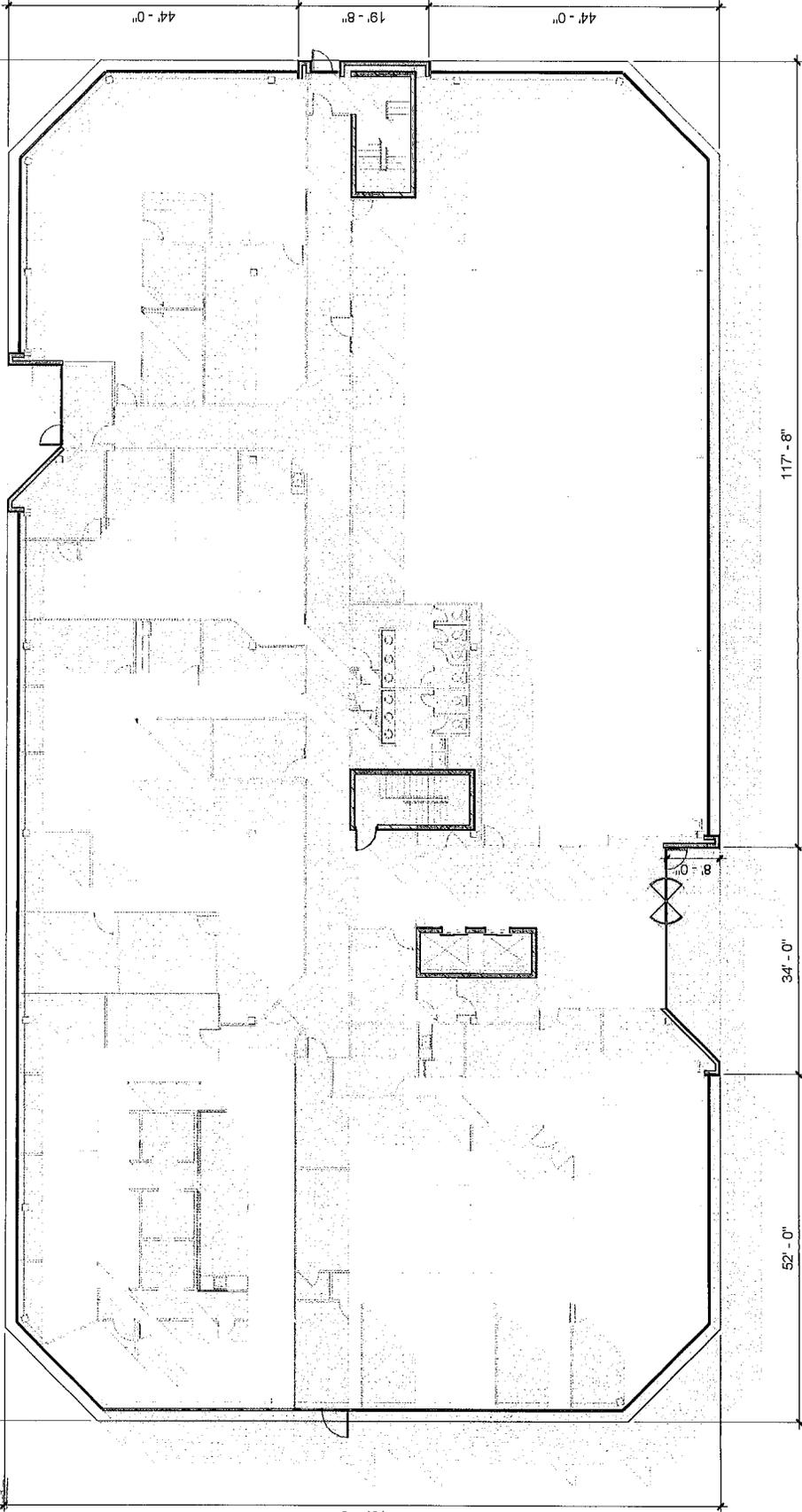
PRELIMINARY SITE PLAN 1" = 40'-0"

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FINAL DEVELOPMENT PLAN  
8790 GOVERNORS HILL  
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DATE: 12/20/23  
PROJECT #: 23102

EXISTING FLOOR  
PLAN

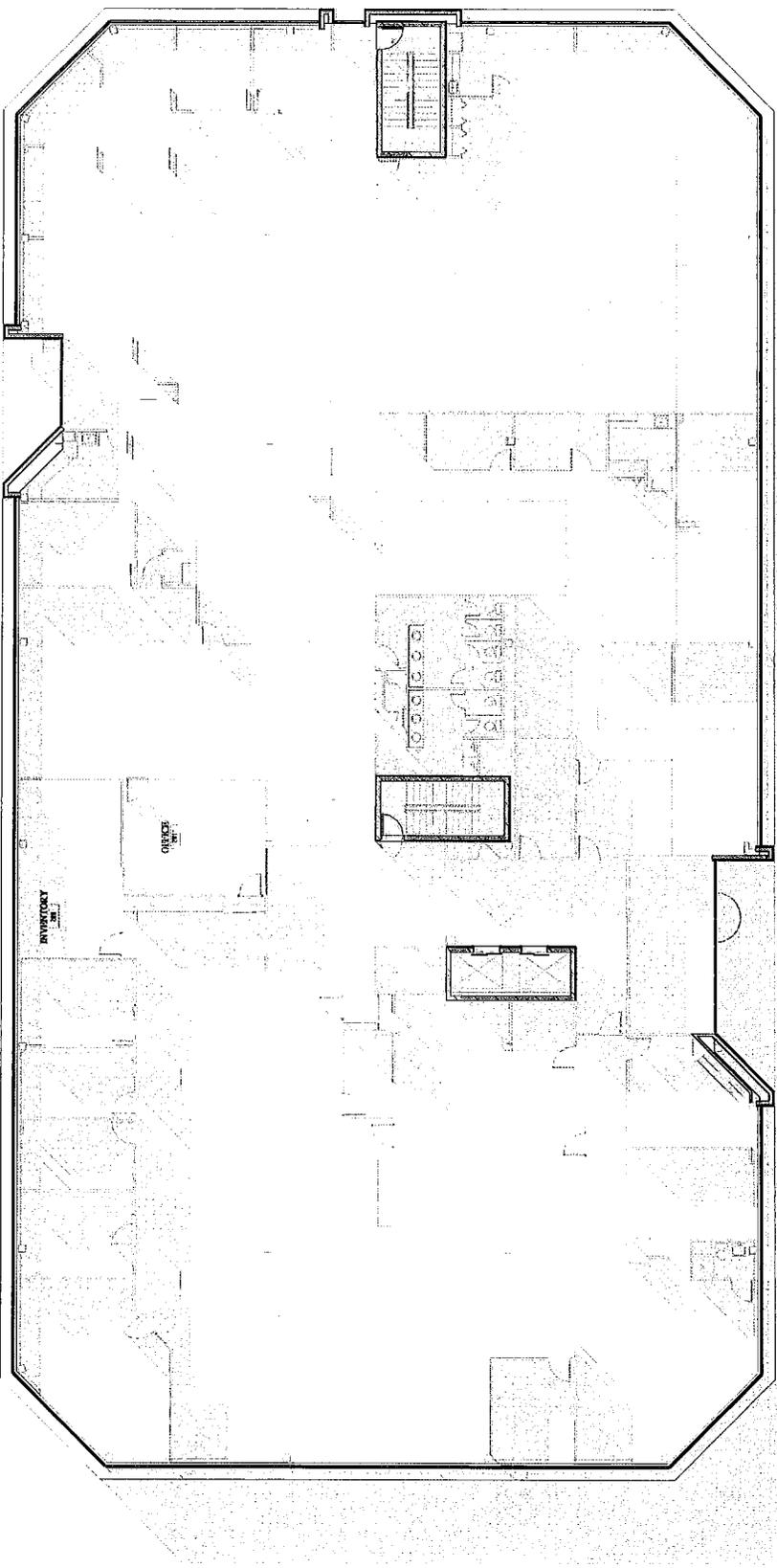
SD-101E

EXISTING 1ST FLOOR PLAN 1/16" = 1'-0"

BERARDI+  
ARCHITECTS AND DESIGNERS  
100 W. WASHINGTON  
CINCINNATI, OH 45202  
PH: 513.263.1000 FAX: 513.263.1001  
WWW.BERARDI.COM

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FINAL DEVELOPMENT PLAN  
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PROJECT #: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

EXISTING FLOOR  
PLAN

SD-102E

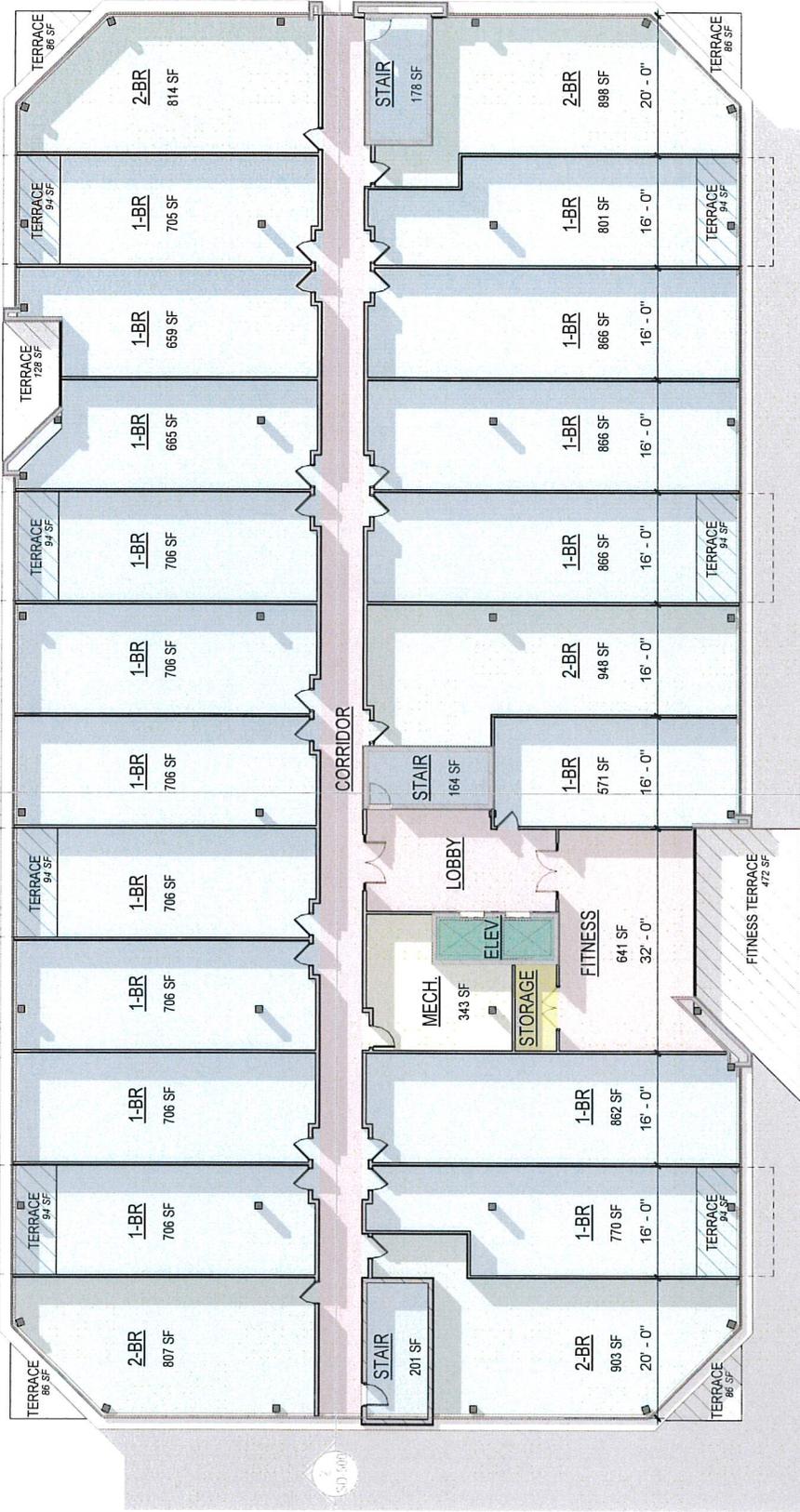
EXISTING 2ND FLOOR PLAN 1/16" = 1'-0"

BERARDI+  
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10000 WILSON AVENUE, SUITE 100  
CINCINNATI, OH 45241  
PH: 513.763.8800  
WWW.BERARDI-PA.COM



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- AREA LEGEND
- 1-BR
  - 2-BR
  - CORRIDOR
  - ELEV.
  - FITNESS
  - LOBBY
  - MECH.
  - STAIR
  - STORAGE



SCHEMATIC

DATE: 1/26/2023  
PROJECT #: 23102

FLOOR PLAN

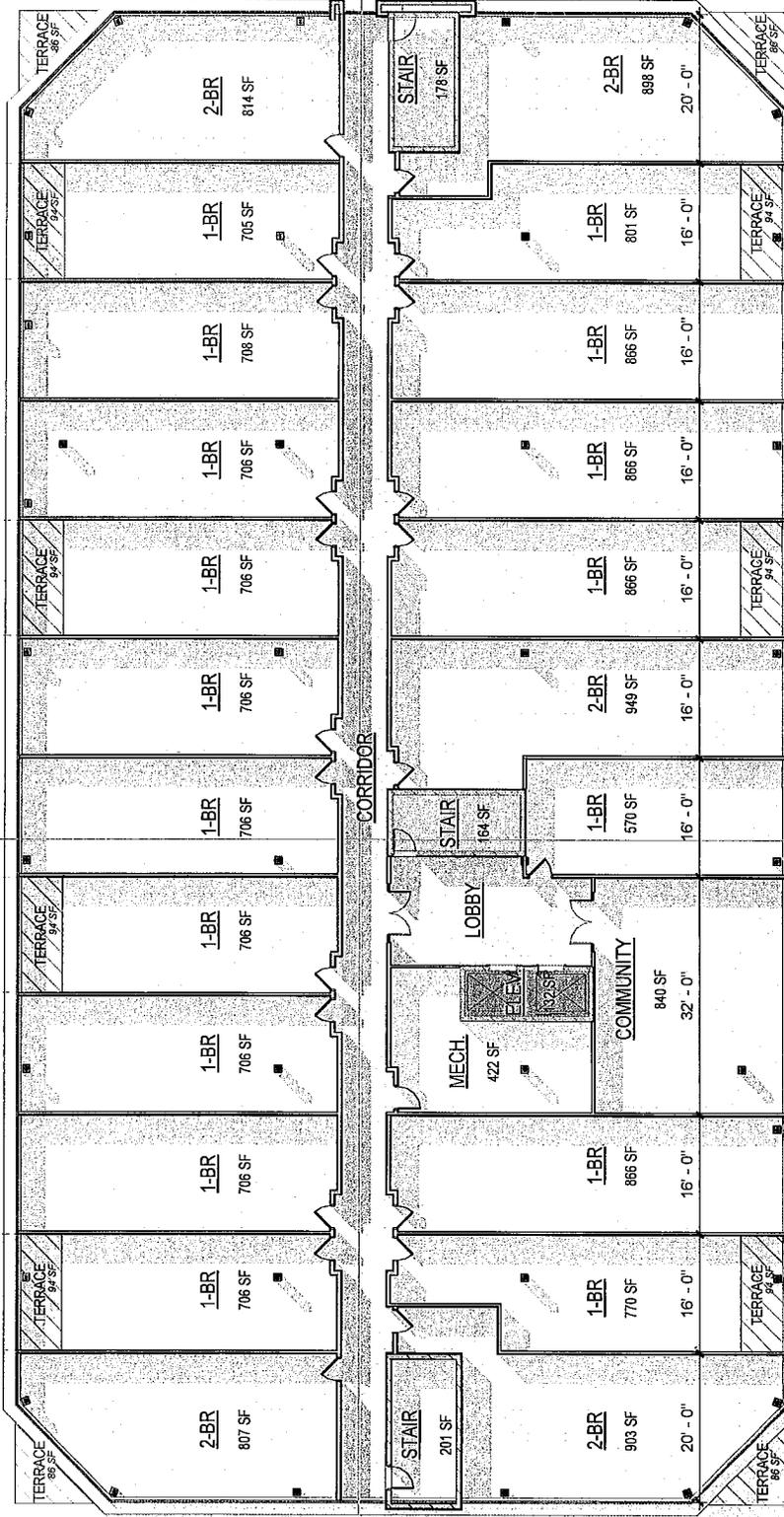
SD-102

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1111 N. LAUREL STREET, SUITE 1000  
CHICAGO, IL 60610  
TEL: 312.467.1000  
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PRELIMINARY 2ND FLOOR PLAN 1/16" = 1'-0"

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FINAL DEVELOPMENT PLAN  
8790 GOVERNORS HILL  
DRIVE



- DATE: PROJECT #:
- CONTRACTOR: DATE:
- AREA LEGEND
- 1-BR
  - 2-BR
  - COMMUNITY
  - CORRIDOR
  - ELEV.
  - LOBBY
  - MECH.
  - STAIR



SCHEMATIC

FLOOR PLAN

SD-103

PRELIMINARY 3RD FLOOR PLAN 1/16" = 1'-0"

BERARDI+

ARCHITECTS

1000 W. 10TH AVENUE, SUITE 1000

DENVER, CO 80202

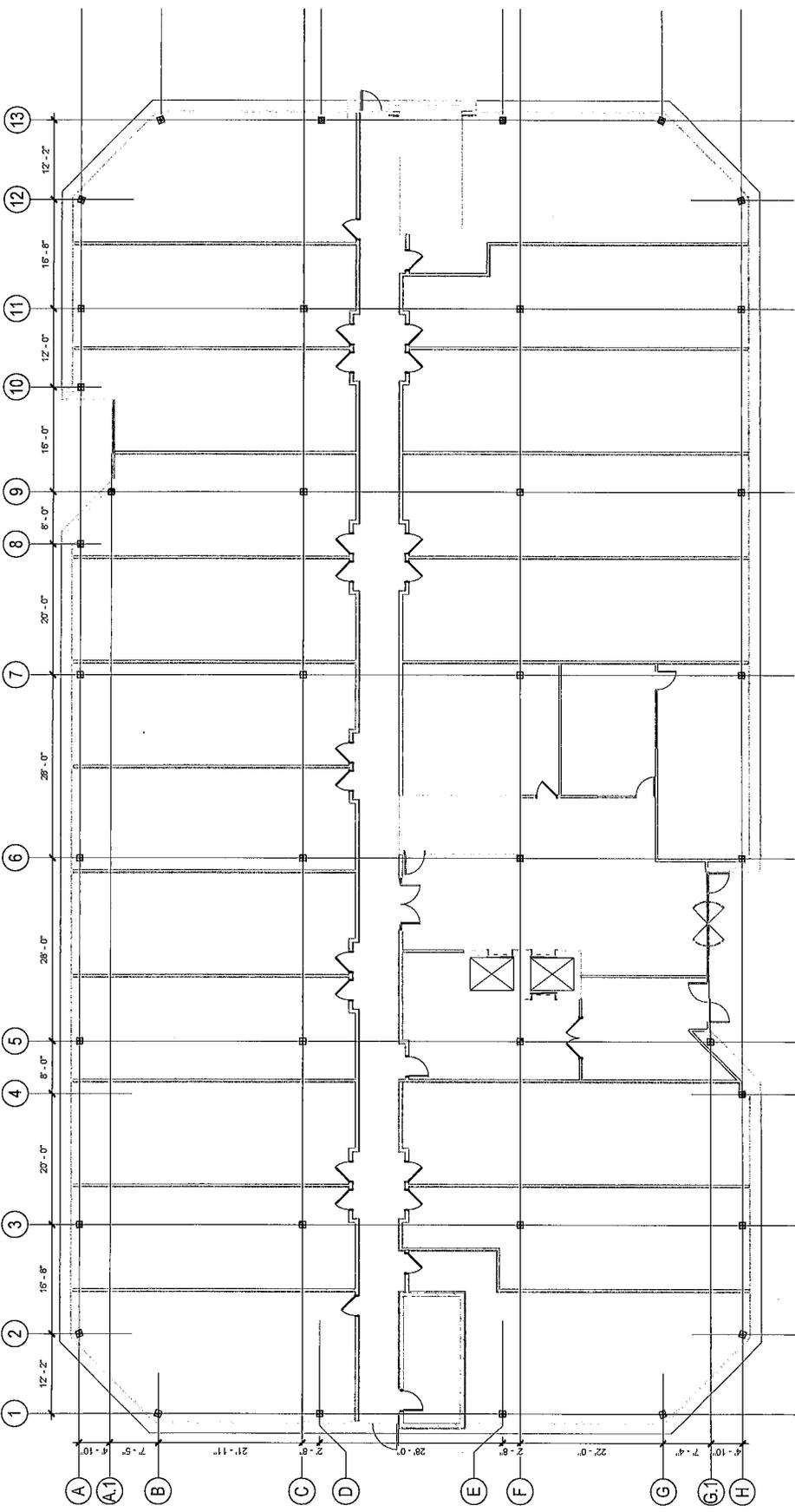
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FINAL DEVELOPMENT PLAN  
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DATE: 10/26/2023  
PROJECT#: 23102

STRUCTURAL  
GRID

SD-105

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ARCHITECTS AND ENGINEERS  
100 W. WASHINGTON ST., SUITE 1000  
CHINCINNATI, OH 45202  
PH: 513.763.8800  
WWW.BERARDI.COM

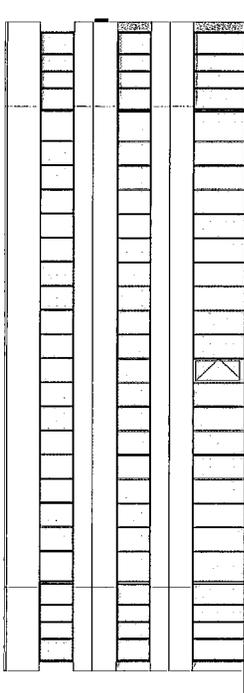
PRELIMINARY 1ST FLOOR PLAN - STRUCTURE 1/16" = 1'-0"

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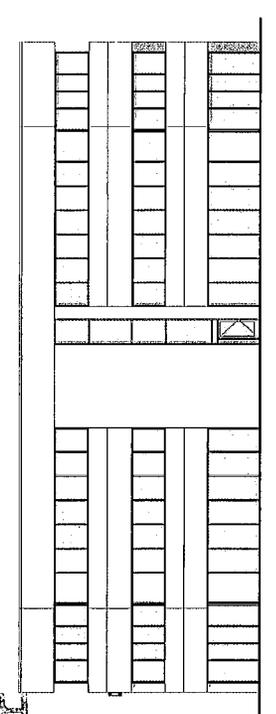
FINAL DEVELOPMENT PLAN  
8790 GOVERNORS HILL  
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CONTRACT: CH 2302  
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ROOF 139'-8"  
3RD FLOOR 125'-4"  
2ND FLOOR 112'-8"  
1ST FLOOR 100'-0"

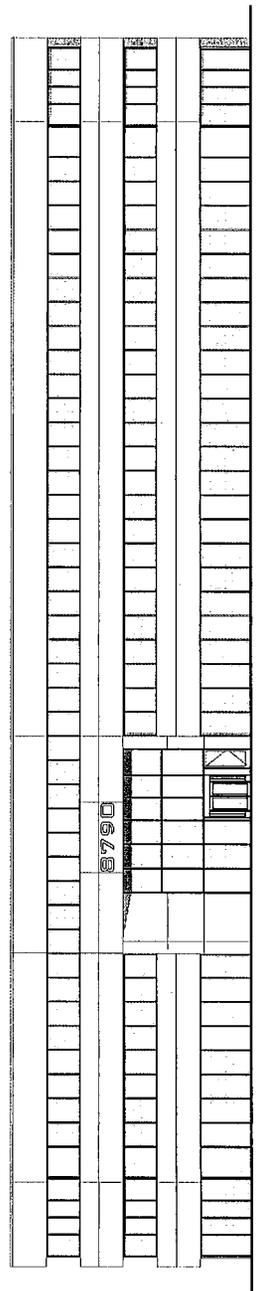


EXISTING NORTH ELEVATION 1" = 20'-0"



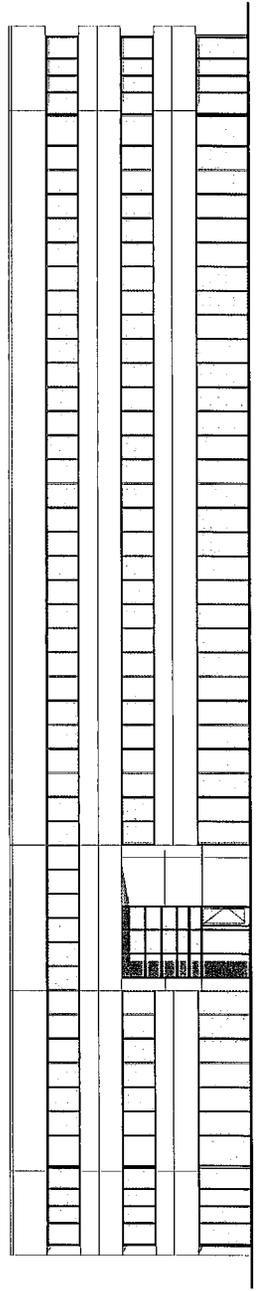
EXISTING SOUTH ELEVATION 1" = 20'-0"

ROOF 139'-8"  
3RD FLOOR 125'-4"  
2ND FLOOR 112'-8"  
1ST FLOOR 100'-0"



EXISTING EAST ELEVATION 1" = 20'-0"

ROOF 139'-8"  
3RD FLOOR 125'-4"  
2ND FLOOR 112'-8"  
1ST FLOOR 100'-0"



EXISTING WEST ELEVATION 1" = 20'-0"

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DATE: \_\_\_\_\_  
PROJECT #: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

ELEVATIONS

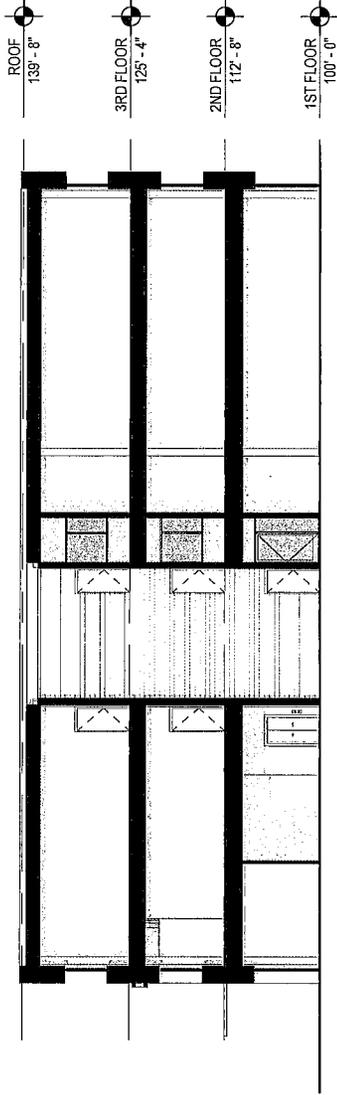
SD-200

BERARDI+  
ARCHITECTS AND ENGINEERS  
1000 HILL STREET, SUITE 200, BOSTON, MA 02118  
TEL: 617.552.2200

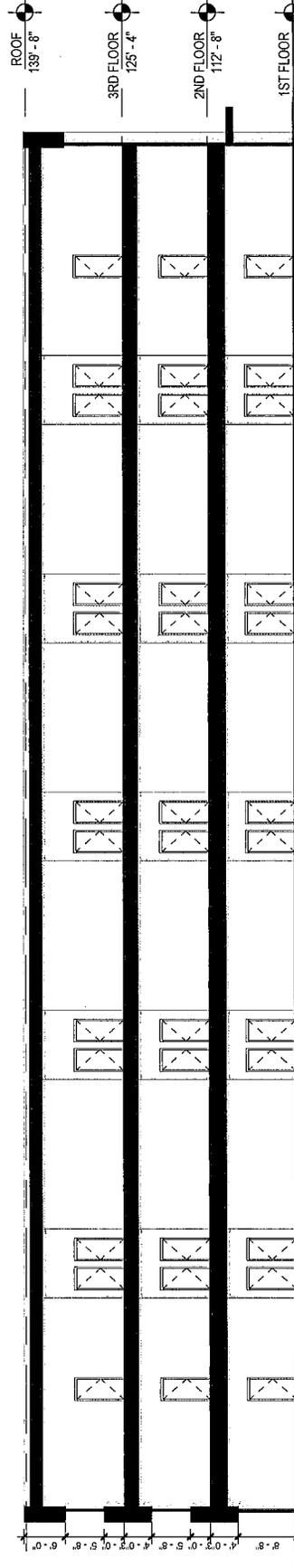
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E-W SECTION 1/16" = 1'-0"



N-S SECTION 1/16" = 1'-0"

SCHEMATIC

DATE: 10/20/23  
PROJECT #: 20192

BUILDING  
SECTIONS

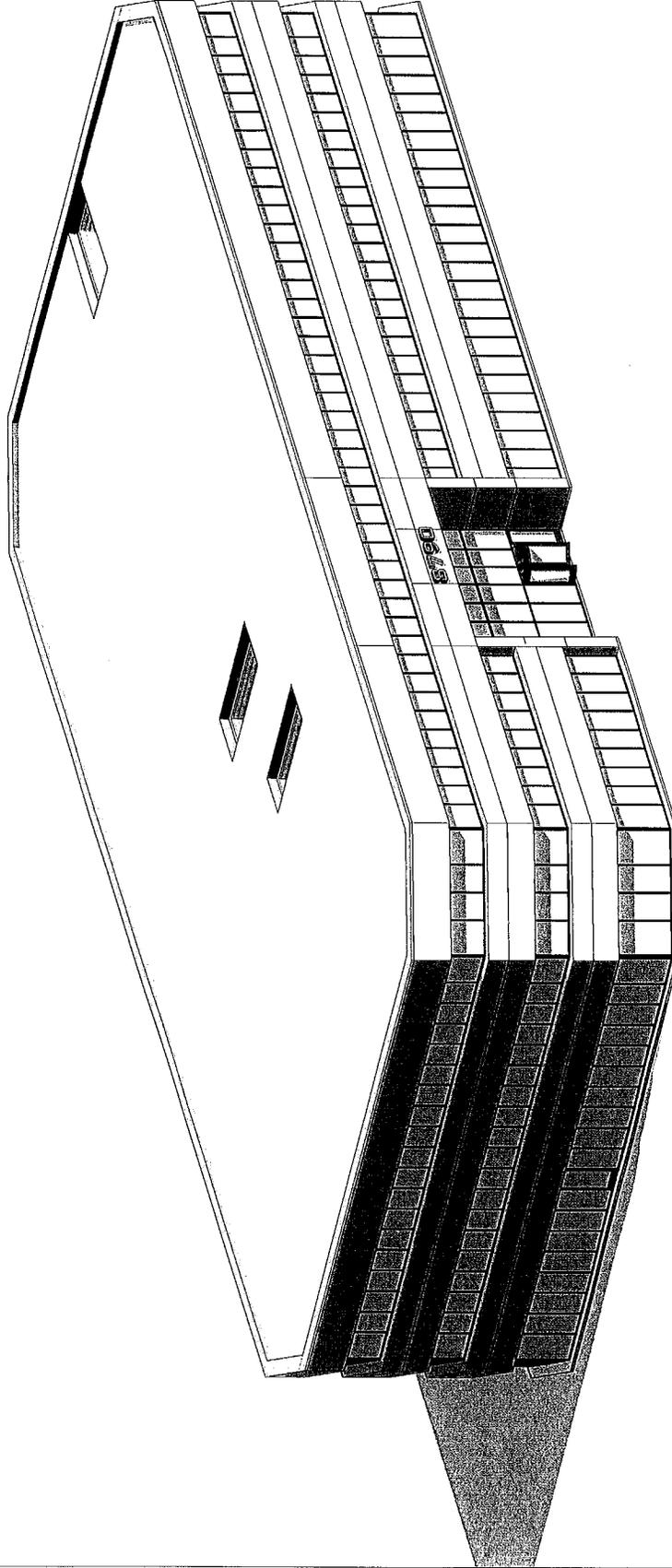
SD-500

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1100 W. WASHINGTON ST. SUITE 1100  
CHICAGO, IL 60606  
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DATE: 03/06/2023  
PROJECT #: 23182

AXONOMETRIC

EXISTING SE AXONOMETRIC

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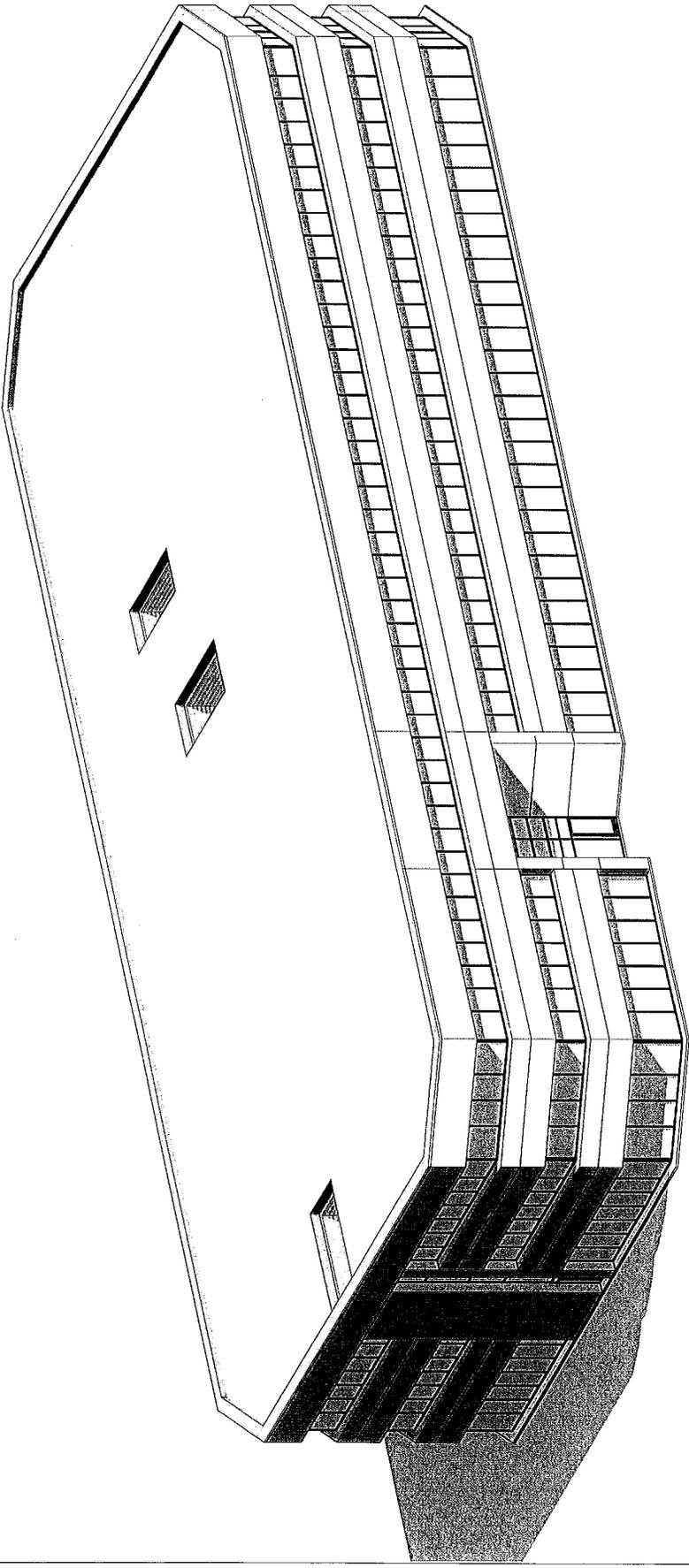
SD-900

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100 N. LA SALLE ST. SUITE 1100  
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FINAL DEVELOPMENT PLAN  
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SCHEMATIC

DATE: 1/08/2023  
PROJECT #: 23102

AXONOMETRI  
C

EXISTING NW AXONOMETRIC

SD-901

BERARDI+  
ARCHITECTURE + INTERIORS, PLANNING  
& ENGINEERING, INC.  
1000 W. WASHINGTON ST., SUITE 1000  
CINCINNATI, OH 45202  
PH: 513.763.8800  
WWW.BERARDI.COM

January 3, 2024

Michael L. Seeger  
Choice One Engineer  
8956 Glendale Milford Road  
Suite 1  
Loveland, OH 45140

RECEIVED  
JAN 08 2024

**Subject: Request for Availability of Sewer Service APPROVAL  
Apartments - (140) 1-br & (37) 2-br  
Auditor's Parcel Number 0620-0202-0029  
8790 Governors Hill Drive  
Symmes Township  
APD Number HMD2300346**

Dear Mr. Seeger,

Your sewer availability request for the above-referenced property has been processed and approved. Sanitary sewer service is available via connection to the existing public sewer Governors Hill Drive with a mainline extension, subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
4. A mainline sewer extension is required for the proposed development. Concept and detail plans must be submitted for MSD review and approval per Articles VI and VII of the latest revision of the MSD Rules and Regulations.

A Permit to Install is required from the Ohio EPA before MSD grants final approval of detailed plans for sanitary sewer construction. A Registered Ohio Professional Engineer shall prepare the permit application for submittal by MSD to the Ohio EPA. No construction of a mainline extension can begin before obtaining a PTI from the Ohio EPA.

A public sanitary sewer easement shall be dedicated for all portions of the proposed mainline extension which will be located outside of a dedicated public right of way. This easement shall be dedicated by plat, prepared per MSD, Hamilton County, and State of Ohio standards, and shall be submitted to MSD for review before execution by the grantors. All public sewer easements shall be a minimum of 20 feet in width, and MSD reserves the right to require a wider easement if site conditions warrant.

5. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or

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[MSDWWEInspections@cincinnati-oh.gov](mailto:MSDWWEInspections@cincinnati-oh.gov) for sewer inspection.

6. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
7. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
8. Each structure or dwelling shall be provided with a separate water service and meter and shall also be serviced by a separate and completely independent building sewer tapping into the sanitary or combined sewer system per Section 1202 of the MSD Rules and Regulations.
9. Roof drains, foundation drains, cooling water, swimming pool water, or other clean water connections to the sanitary sewer system are prohibited per Section 401 of the MSD Rules and Regulations. A notarized affidavit stating that the sanitary wastewater is free of such clear waters must be submitted to MSD before a tap permit will be issued. Hamilton County Department of Public Works should be consulted regarding the stormwater collection, detention, and conveyance requirements.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules and Regulations. Extension requests may be made within thirty (30) days of the expiration date of this application. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,



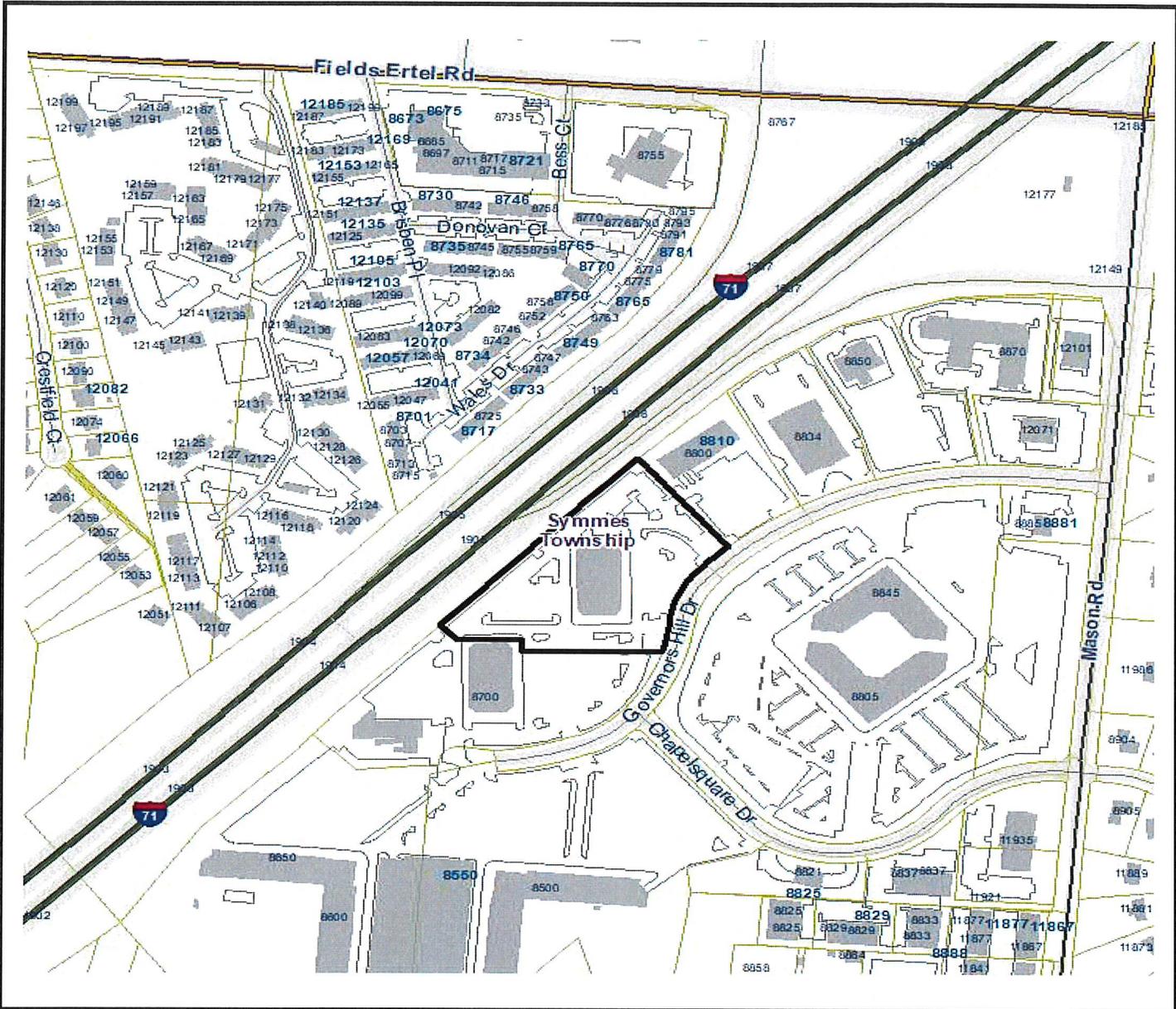
**Robert Franklin**

MSD-ODOT Liaison | MSD Availability | MSD Utility Review  
Metropolitan Sewer District of Greater Cincinnati (MSD)  
Cell: 513.882.8468; Email: [Rob.Franklin@cincinnati-oh.gov](mailto:Rob.Franklin@cincinnati-oh.gov)



RF: ww

c: Availability File, Symmes Township



# Vicinity Map

**Case: Symmes 79-3; 8790 Governors Hill Drive**  
**Request: FDP Modification**

**DISCLAIMER:**  
 Neither the provider nor any of the parties of the Cincinnati area geographic information system (CAGIS) make any warranty or representation, either expressed or implied, with respect to this information, its quality, performance, merchantability, or fitness for a particular purpose. As a result this information is provided as is, and you, the recipient, are assuming the entire risk as to its quality and performance.  
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 Any floodway and flood fringe information provided on this map is for conceptual planning purposes only. For official determination of limits recipient must refer to the 2004 FEMA floodway fringe maps. Large differences can exist between actual flood prone area and official FEMA flood fringe areas.

**HAMILTON COUNTY RURAL ZONING COMMISSION**  
 138 E COURT ST RM 801  
 CINCINNATI, OH, 45202-020  
 (513) 946-4500

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Created: 01-09-2024